

INSPECTION CONDITIONS

2626 N. XXXX Pl.

Accuspect

Home Inspection Services, Inc.

www.accuspect.com
847.673.9200.



CLIENTS NAME:

XXXXXXX.

CLIENT & SITE INFORMATION:

INSPECTION ADDRESS:

2626 XXXXXX.

CITY/STATE/ZIP

XXXXX.

DATE OF INSPECTION:

XXXXX.

TIME OF INSPECTION:

09:30.

CLIENTS CURRENT ADDRESS:

XXXXX.

2626 N. Dryden Pl.
CITY/STATE/ZIP:

XXXXXX.

CLIENTS PHONE NUMBER:

XXXXXX.

CLIENTS E- MAIL ADDRESS:

XXXXXX.

ATTORNEYS NAME:


XXXXXX.

ATTORNEYS EMAIL:

XXXXXX.

COMPANY INFORMATION:

INSPECTORS NAME LICENSE
NUMBER:


Hiam (Hy) Naiditch CRI IL License # 050000189

(Inspection Form version:)

100105.

CLIMATIC CONDITIONS:

WEATHER:

Clear.

SOIL CONDITIONS:

Damp.

APPROXIMATE OUTSIDE
TEMPERATURE: (in degrees
F.)

48.

BUILDING CHARACTERISTICS:

MAIN ENTRY FACES:

South.

ESTIMATED AGE OF
PROPERTY (in years):

17.

BUILDING TYPE:

1 family.

STORIES OR LEVELS:

2.

SPACE BELOW GRADE:

The unit has a basement and partial slab construction.

UTILITY SERVICES:

WATER SOURCE:

Public.

2626 N. Dryden Pl.
SEWAGE DISPOSAL:

Public.

UTILITIES STATUS:

All utilities on.

PICTURES:

Picture #1:

Rear.

Picture #2:

Left Front.

MISCELLANEOUS INFORMATION #1:

PICTURES 1:



There is a laundry chute present. For child safety reasons, recommend screwing closed the chute to prevent children from falling into the chute.

OTHER INFORMATION:

AREA:

Suburb.

UNIT OCCUPIED?

No.

PEOPLE PRESENT:

Listing Agent was only there for access at the start of the inspection.

REPORT LIMITATIONS

This report is intended only as a general guide to help the client make his own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report.

Systems and conditions which are not within the scope of the building inspection include, but are not limited to:

formaldehyde, lead paint, asbestos, toxic or flammable materials, mold, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, basement flooding conditions, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercom; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with trades people or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the American Arbitration Association in accordance with its Construction Industry Arbitration Rules then obtaining, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs or waive the right to make the claim.

Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

This inspection is performed according to the guidelines set forth by National Association Of Home Inspectors- Standards Of Practice. These Guidelines are attached to your report, or can be view by going to www.nahi.org.

ACCUspect Home Inspection Services, Inc.

EXTERIOR

EXTERIOR WALLS:

MATERIAL 1:

Brick veneer.

CONDITION:

To aid in proper ventilation behind the brick wall, recommend installing weep holes to the brick.

MATERIAL 2:

Aluminum siding.

CONDITION:

Appears serviceable, normal cracking noted.

WINDOW SILL

CONDITION:

Appears serviceable.

WINDOW LENTAL:

CONDITION 1:



There was vertical cracks noted above, and at the ends of some of the lentals. The lentals may need to be rebuilt. Recommend further evaluation/repair by a licensed massonary contractor.

WINDOW TRIM:

MATERIAL:

Metal.

CONDITION:

Appears serviceable.

DOOR TRIM:

2626 N. Dryden Pl.

MATERIAL:

Wood. Metal.

CONDITION:

Appears serviceable.

TRIM:

MATERIAL:

Wood.

CONDITION:

Appears serviceable.

EXTERNAL VENTS:

CONDITION:



A rear vent was taped up. Repair/replace as necessary.

CHIMNEY:

LOCATION:

Rear center of the house.

MATERIAL:

Brick.

CHIMNEY LINING:

Unable to determine.

CONDITION:

Appears serviceable.

CHIMNEY #2:

LOCATION:

Left rear of the house.

2626 N. Dryden Pl.

MATERIAL:

Brick.

CHIMNEY LINING:

Unable to determine.

CONDITION:

Appears serviceable.

Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation.

ACCUspect Home Inspection Services, Inc.

GROUNDS

DRIVEWAY:

TYPE:

Concrete.

CONDITION:

Appears serviceable.

SIDEWALKS:

TYPE:

Concrete.

CONDITION:



Cracks noted are major. Repair/replace effected sections. The walks are sloped toward the house, this may allow for water to be diverted into the foundation. Monitor the condition, and if needed raise/replace effected sections of walk.

STAIRS:

LOCATION 1:

front.

TYPE 1:

Concrete.

CONDITION 1:

Appears serviceable.

LOCATION 2:

left side.

TYPE 2:

Concrete.

CONDITION 2:

Appears serviceable.

2626 N. Dryden Pl.
LOCATION 3:

rear

TYPE 3:

Concrete.

CONDITION 3:

Appears serviceable.

LANDSCAPING/TREES:

CONDITION:



Trees are touching or overhanging the roof. Damage is possible, trim back effected sections of the tree.

GRADING:

TYPE OF SITE:

Flat site.



Pitch slope of soils away from foundation. Slope should fall away from the foundation at a minimum of 1/2 inch per foot and extend at least 10 feet away from the foundation.

**IMPROVE GRADE AT THE
FOLLOWING LOCATION:**

Perimeter of the home.

**GFI'S:
CONDITION:**

There was no GFI's installed. It is a good safety practice to install GFI's at the exterior, garage, bathroom, and within 6 feet of a kitchen sink. Recommend installing GFI's in the appropriate locations.

**OUTDOOR LIGHTS:
CONDITION:**

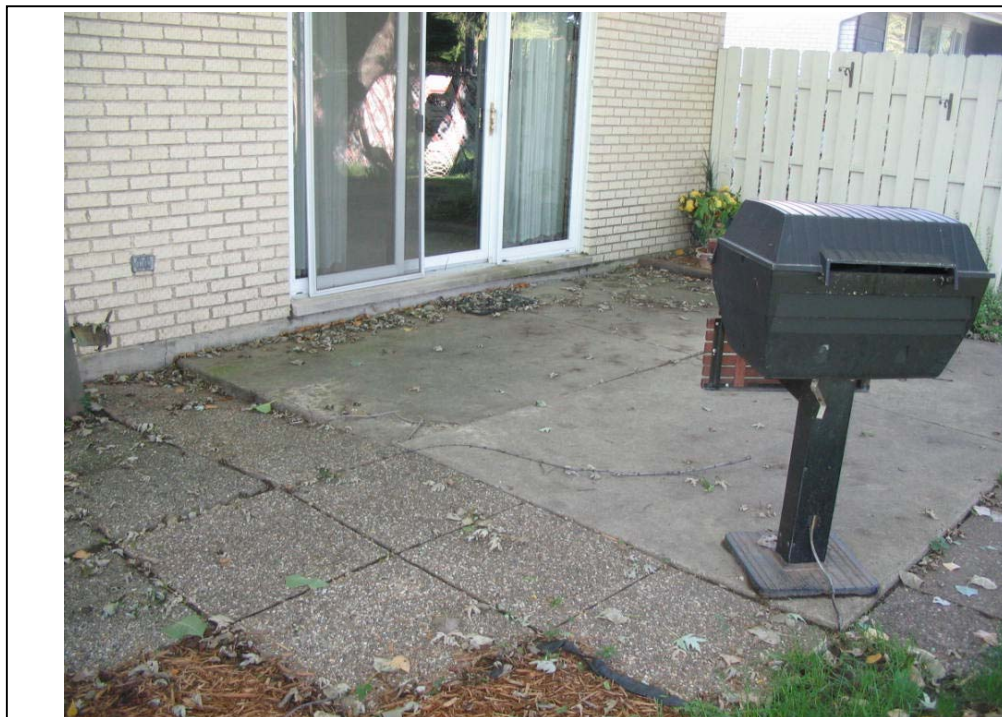
Appears serviceable.

**HOSE FAUCETS:
OPERATION:**

Sample operated, appeared serviceable.

**PATIO:
TYPE:**

Concrete.



Cracks noted are major. Repair/replace effected areas. The patio is sloped towards the building. This can lead to water diverting into the foundation. Monitor the condition and possibly consider regrading or mudjacking up the patio.

FENCES & GATES:

TYPE:

Chain link.

CONDITION:

Our evaluation of fences is limited to those areas which may directly have an effect on the condition of the house. Fences that are surrounding a pool must have sufficient height for safety. Each jurisdiction has their own safety height standards. Gates that enter pool areas must be self-closing and latching.

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in the report. We routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

ACCUspect Home Inspection Services, Inc.

GARAGE - CARPORT

TYPE:

LOCATION:

Attached, Two car.

EXTERIOR WALLS:

MATERIAL 1:

Same as main unit.

CONDITION:

Same as main unit.

TRIM:

MATERIAL:

Same as main unit.

CONDITION:

Same as main unit.

WINDOW LENTAL:

CONDITION 1:

Same as main unit.

DOOR TRIM:

MATERIAL:

Same as main unit.

CONDITION:

Same as main unit.

STRUCTURE:

STRUCTURE:

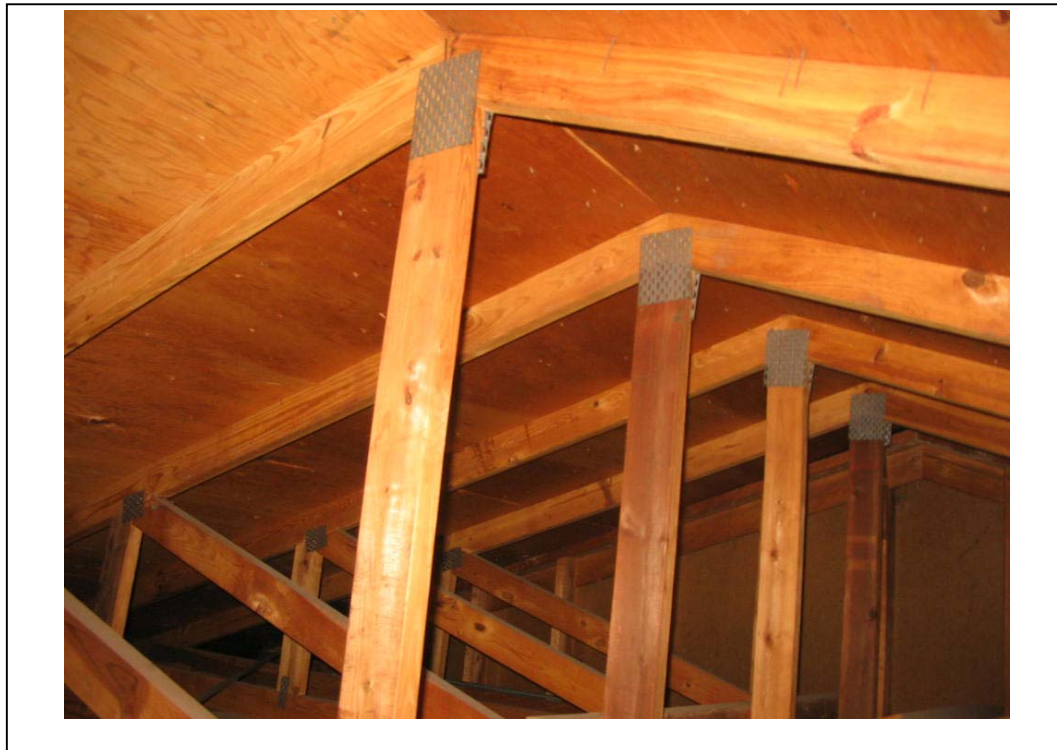
Appears serviceable.

ROOF FRAMING:

The roof was made from truss construction.

FRAMING CONDITION:

Appears serviceable



SHEETING TYPE:

Plywood.

SHEETING CONDITION:

Normal aging, appears serviceable.

SERVICE DOOR:

DOOR CONDITION:

The door, and storm door is not made from safety/tempered glass. This is considered a safety hazard, upgrading to tempered glass is recommended.

CAR DOOR:

DOOR CONDITION:

The door is serviceable.

OPENER(S)

AUTOMATIC OPENER:

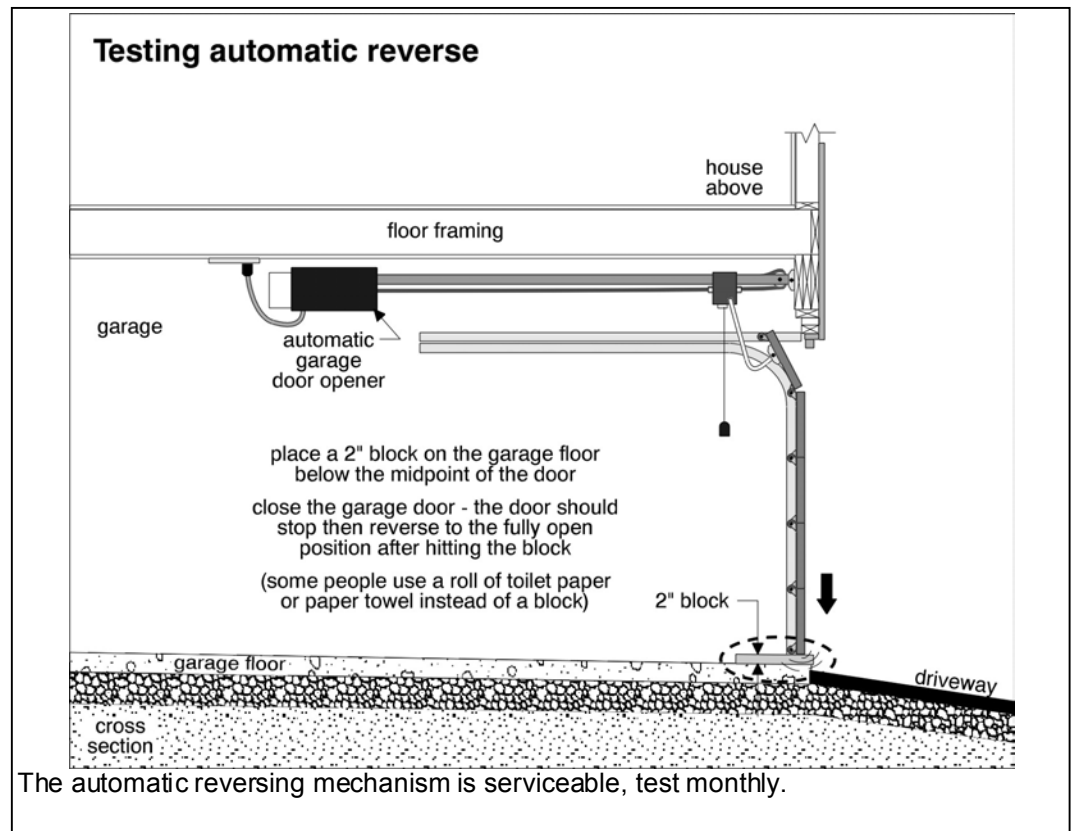
There is a automatic opener installed.

OPENER SWITCH:

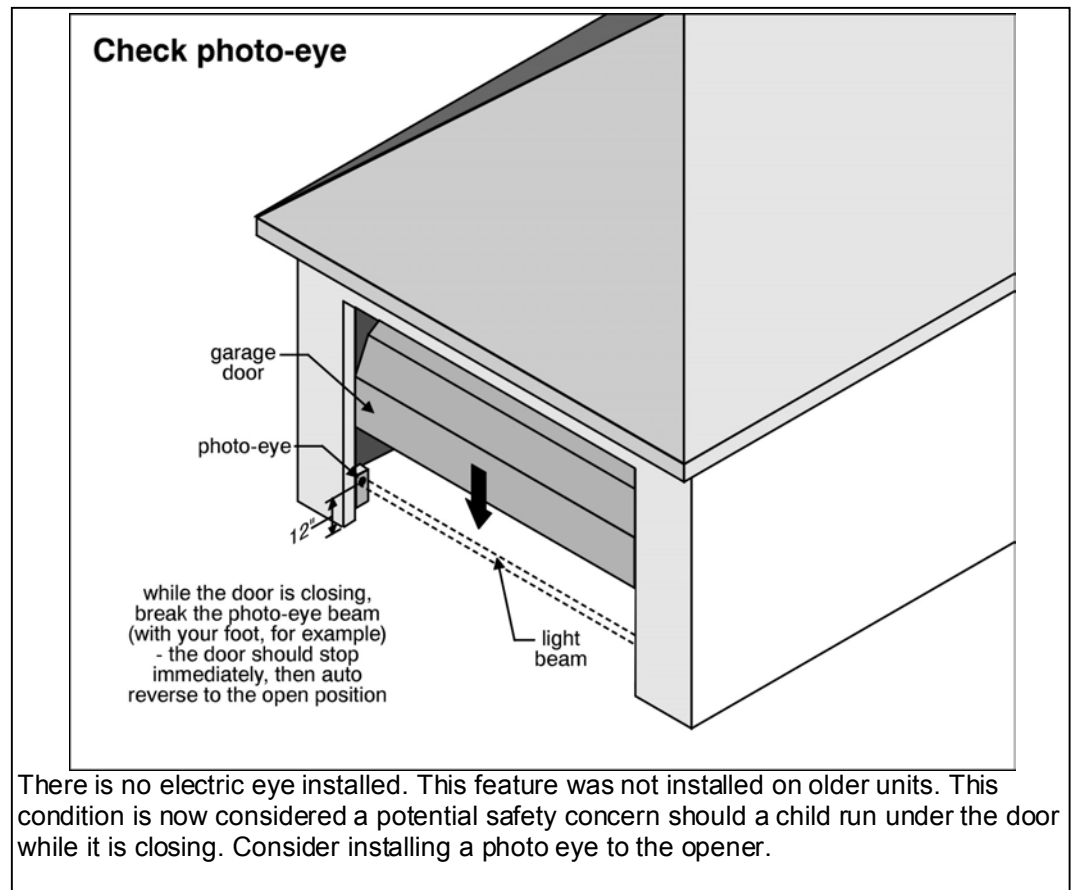
The door switch is located less than 5 feet off the ground. This poses a potential child safety concern, should a child reach up and active the door. Relocate the pad at least 5 feet off the highest area within reaching distance.

SAFETY STICKER:

There was no garage door safety sticker installed. Recommend installing a safety sticker as necessary.



CONDITION ELECTRIC EYE:



ELECTRICAL:

There are no GFI's installed. Is is recommended to install GFI outlets to all exterior outlets.

FIRE WALL:
CONDITION:



The attic hatch is not made from approved fire rated materials. Install approved fire rated materials over the access door to restore its fire rating. Damage/missing sections to the fire wall is noted. Repair any openings with approved materials to restore its proper fire rating.

FLOOR:
CONDITION:

Typical cracks and erosion noted to the floor slab. To prevent water penetration and freeze thaw damage, calk cracks with concrete caulk.

Notice: Determining the heat resistance/fire rating of garage fire walls is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas. Often stored items/cars prevent full viewing of the structure, and flooring conditions. In the event of stored items at the time of the inspection, recommend reinspection at a later date. and removed if required by local municipality. Many times due to stored items/cars, unable to test the garage door opener outlet for proper grounding. To prevent potential electrical shock hazard, verify that the outlet is properly grounded.

ACCUspect Home Inspection Services, Inc.

ROOF SYSTEM

ROOF:**ROOF ACCESS:**

Walked on roof.

STYLE:

Hip.

TYPE:

Composition shingles.

ROOF COVERING CONDITION:

Cracking and clawing of shingles are the result of long term weathering and an advanced shingle age. There was also excessive granular wear noted. The roof appears to have two layers of shingles installed. Anticipate the need to replace the roof covering in the not too distant future.



FLASHINGS:

TYPE:

Metal, Composition.

CONDITION:

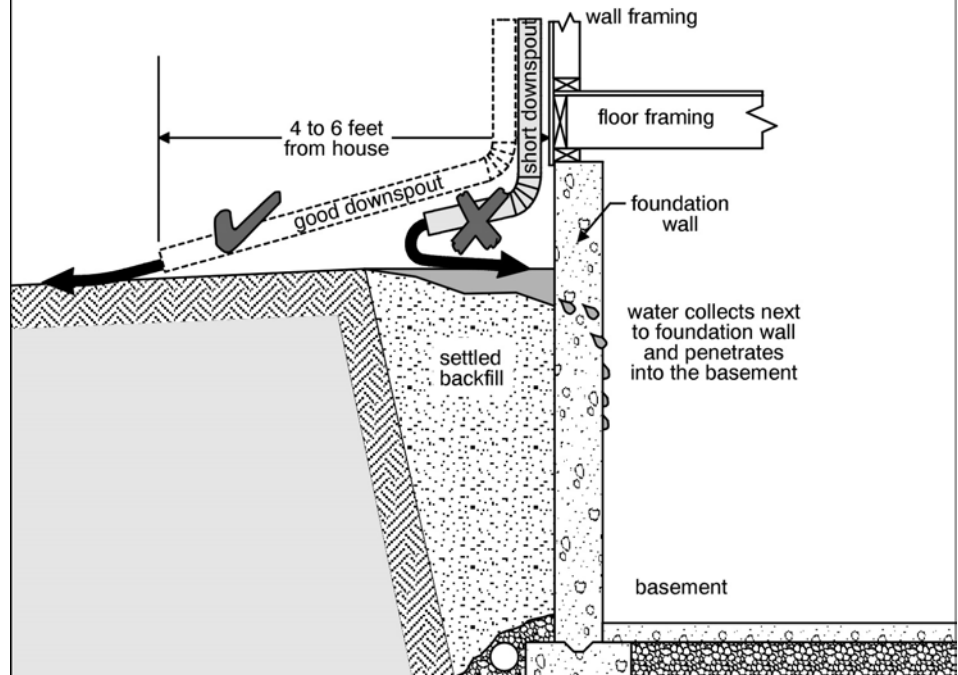


Rusty flashing is noted, monitor conditions, and replace if necessary.

GUTTERS & DOWNSPOUTS:

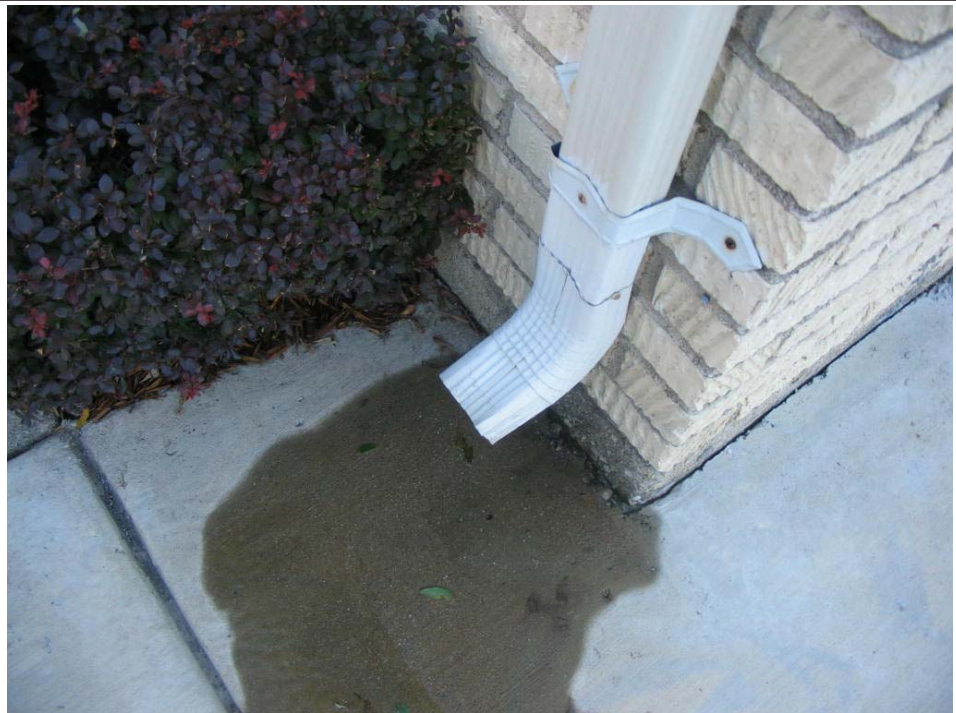
CONDITION:

Downspout extension too short



In order to prevent water from rolling back/entering the foundation, add downspout extensions.

PICTURE A:



This photo shows a downspout that is not extending away from the foundation.

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.

ELECTRICAL SYSTEM

SERVICE:**TYPE:**

Underground service, 110/220 Volt, circuit breakers.

ELECTRIC METER CONDITION:

Appears serviceable

CONDUCTORS:

Aluminum.

SERVICE AMPERAGE:

150 Amps.

MAIN ELECTRICAL PANELS:**LOCATION:**

Basement.

PANEL SUPPLYING:

Unit and garage.

CONDITION:**Panel openings**

any exposed panel openings (that would allow access to the inside of the panel) should be fitted with secure covers

openings requiring covers

panel support

The panel is partially labeled. Properly label all circuits.
There are openings in the main panel (missing knockouts). This can allow for probing fingers to potentially get shocked. Install missing knockout covers.
There is minor corrosion noted inside the panel.

Common household wire and fuse sizes

14 AWG copper wire



common uses:

most circuits for lighting and receptacles, electric baseboard heaters

typical fuse/breaker size:

15 amps

10 AWG copper wire



common uses:

electric clothes dryers, air conditioners, water heaters

typical fuse/breaker size:

30 amps

12 AWG copper wire



common uses:

some receptacles, electric baseboard heaters, small air conditioners

typical fuse/breaker size:

20 amps

8 AWG copper wire



common uses:

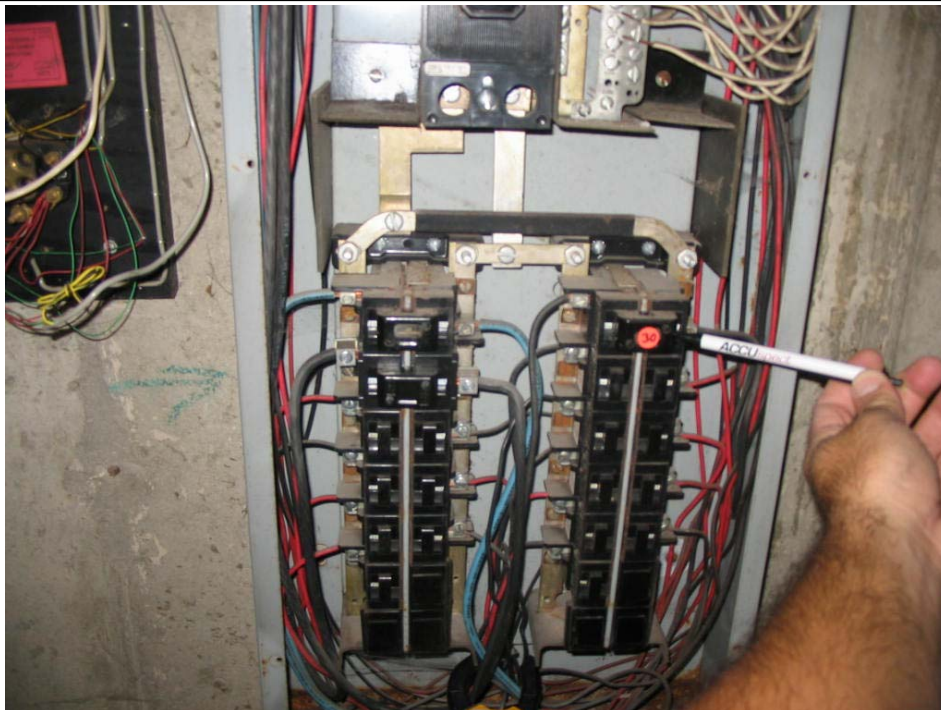
electric stoves and ovens

typical fuse/breaker size:

40 amps

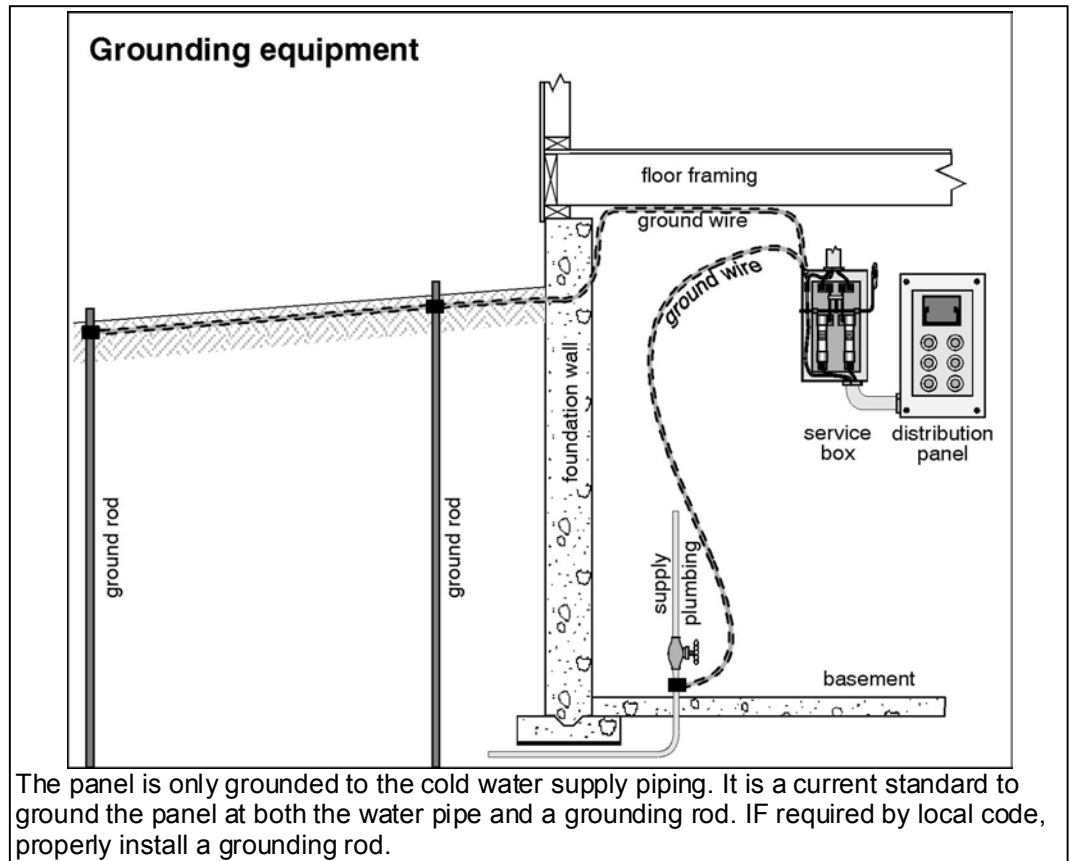
BRANCH CIRCUIT PANEL- OVERSIZED CIRCUIT BREAKER: Circuit breakers served by undersized wires are considered a fire hazard, as the wires represent the weak link in the circuit. In this case the circuit breaker(s) should be exchanged for others which are sized appropriately for the wires which serve them. This work, while straightforward, should nevertheless be performed by a licensed electrician. Recommend further evaluation/repair by a licensed electrician. There is one #10 wire going to a 40 Amp breaker. Replace the breaker with a 30 Amp breaker. (if the circuit appliance is rated for 30 Amps or less.)

PICTURE A:



Replace the marked breaker(s)

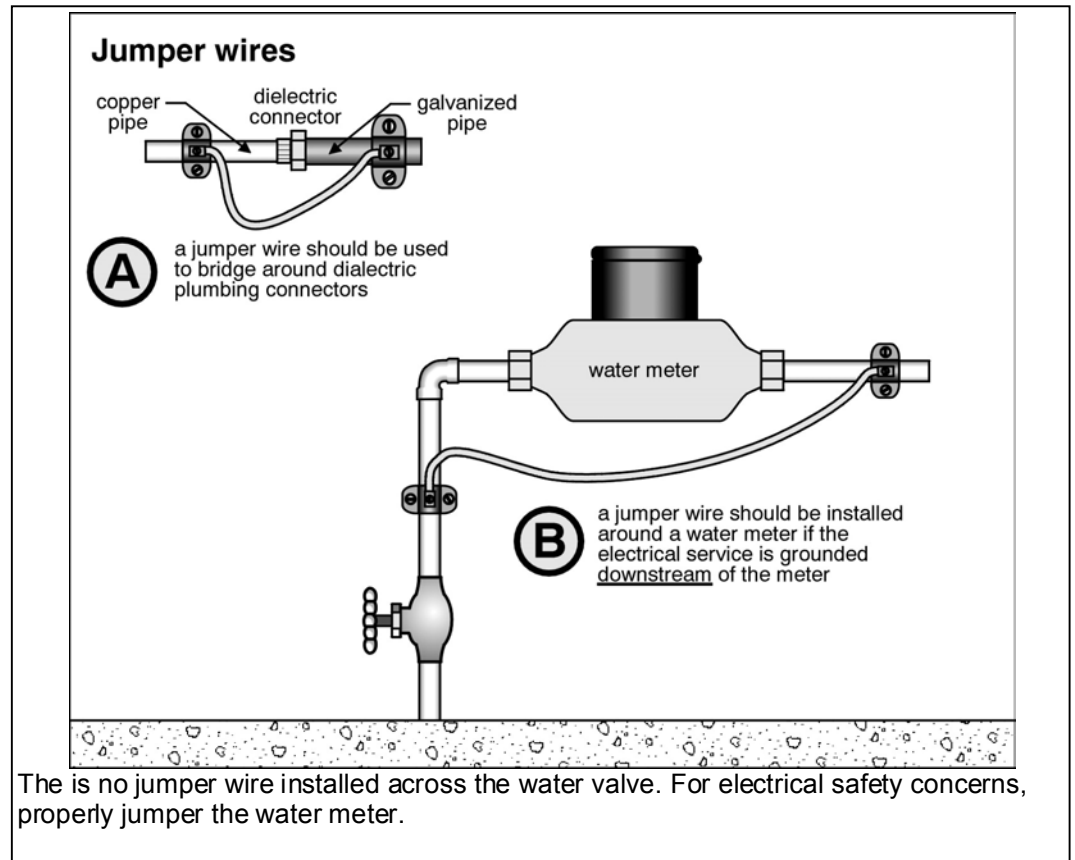
TYPE:



CONDITION OF PIPE GROUND:



There was no Do Not Remove tag noted to the grounding connector. Install as necessary.



PICTURE B:



WIRING:

2626 N. Dryden Pl.
**TYPE NOTED AT THE MAIN
ELECTRICAL PANEL:**

Copper.

PANEL WIRING CONDITION:

Appears serviceable at the electrical panel. Unable to view the wiring throughout/outside this panel.

OUTLETS & LIGHTS:

OUTLETS CONDITION:

A representative sampling of switches and outlets was tested. As a whole, outlets and switches throughout the unit are in serviceable condition. Stored items prevent access and testing at some outlets and switches.

LIGHTS CONDITION:

Lights are not operational in some areas, possibly due to bad bulbs. Have effected bulbs replaced, and check their operation at the walk through inspection.

EXTENSION CORD WIRING:



EXTENSION CORD WIRING IS PERMANENTLY MOUNTED: The presence of handyman wiring is an undesirable condition which should be corrected by a licensed electrician. Zip cord or extension cord wiring is not sufficient for permanent installation, as the insulation on the wiring is not formulated for long term use. Over time it deteriorates, eventually causing a fire hazard to develop. Extension cord wiring should be replaced with standard Romex wiring, intended for long term permanent use. Oftentimes, extension cord wiring is also undersized, in relation to the loads imposed on it. A licensed electrician should be called in to rewire any appliances connected by the use of extension cord wiring.
Noted to the basement shop lights.

GFI'S:

CONDITION:

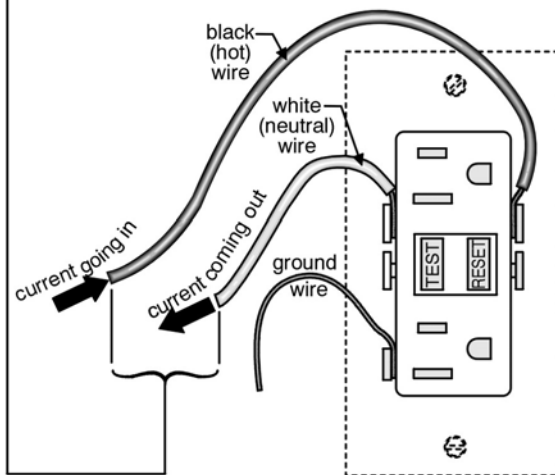
Ground fault interrupter

the GFI circuitry within the outlet checks constantly for a difference between the current in the black and white wires

if there is a difference (even as little as 5 milliamps), there is a current leak (possibly through your body) and the GFI shuts down the receptacle and other receptacles downstream

note:

if the GFI is in the panel, the entire circuit will be shut down



There was no GFI's noted. It is a good safety practice to install GFI's at the exterior, garage, bathroom, and within 6 feet of a kitchen sink. Recommend installing GFI's in the appropriate locations.

Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested regularly. Install carbon monoxide detectors on each level of the house including in the common bedroom hallway area, and test regularly.

ACCUspect Home Inspection Services, Inc.

HVAC

HEATING SYSTEM:**APPROXIMATE AGE: (in years)**

5-8 years old.

LOCATION OF PRIMARY UNIT:

Basement.

SYSTEM TYPE:

Forced air, induced draft, medium efficiency.

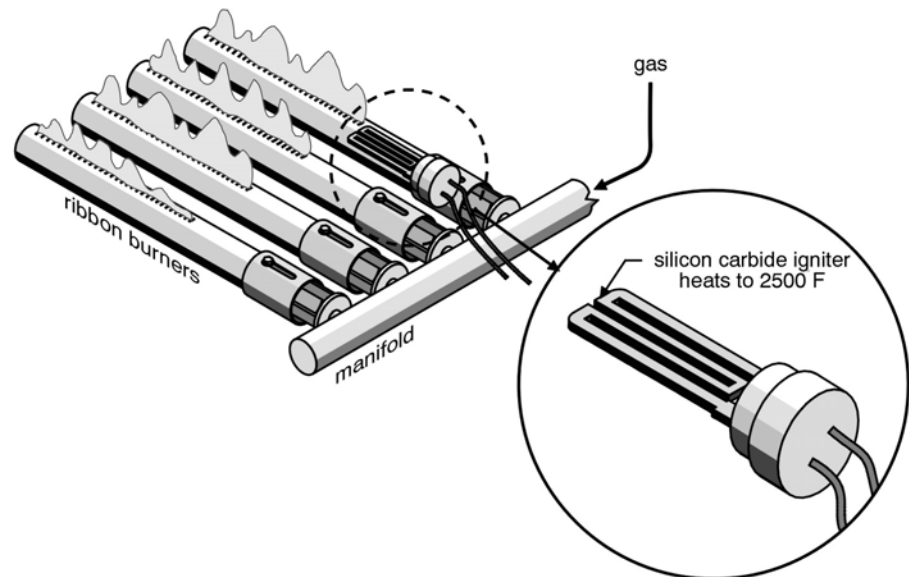
PICTURE OF UNIT:**FUEL TYPE:**

Natural Gas.

**CAPACITY OF THE UNIT: (in
btu's)**

154,000.

Hot surface ignition



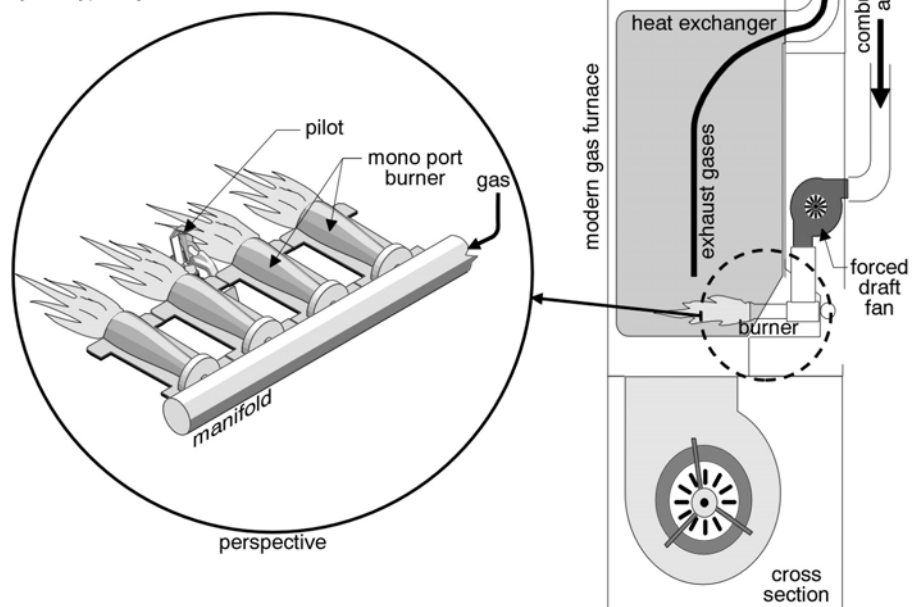
note: crossover igniters omitted for clarity

Hot surface ignition.

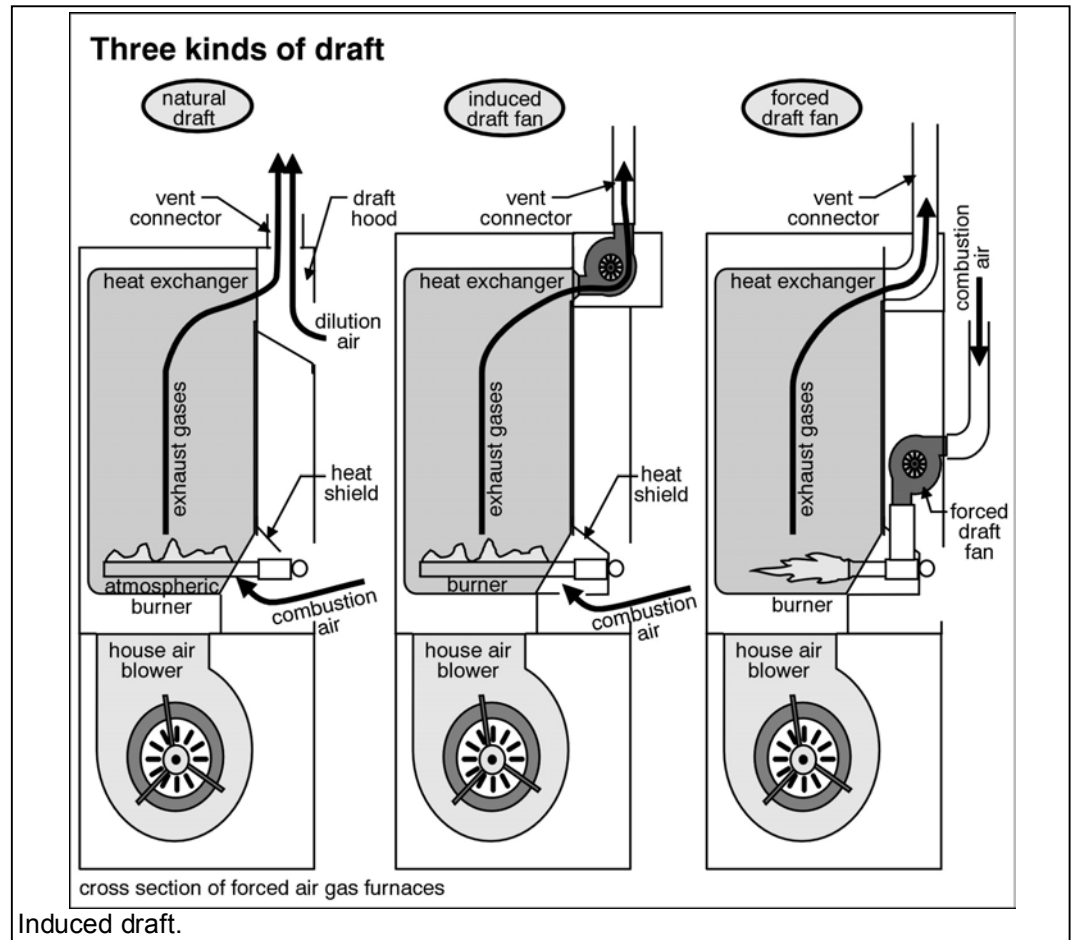
BURNER TYPE:

Monoport burners

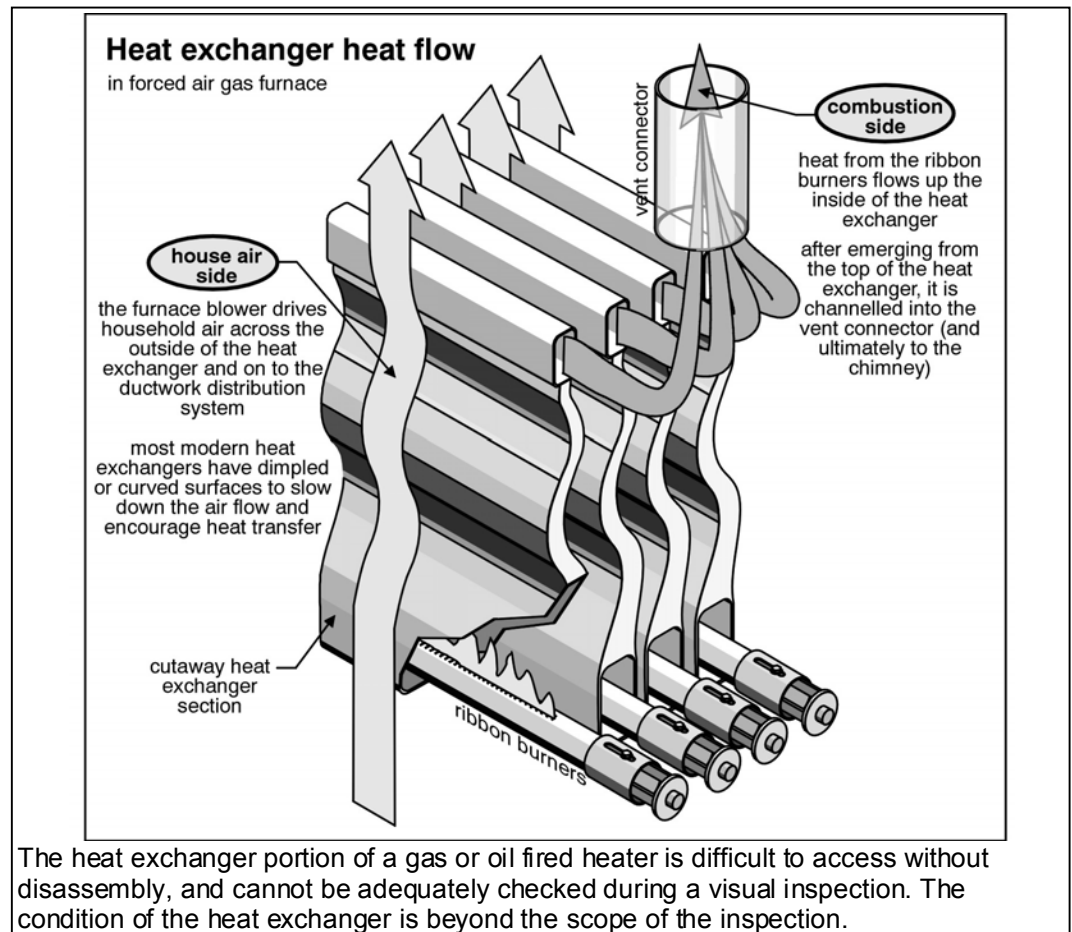
monoport burners are often found on newer gas furnaces and conversion gas burners
they are typically fan assisted



Monoport burners.



HEAT EXCHANGER:



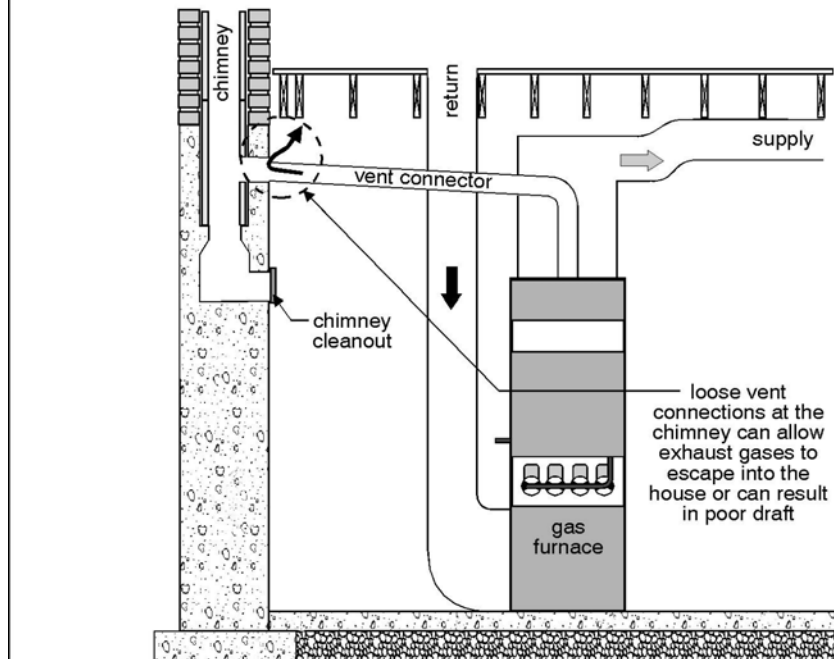
The unit is responding to controls.

BURNERS:

The burner flames appear typical.

VENT PIPE CONDITION:

Vent connector loose at chimney



The vent/chimney junction is deteriorating. This could possible allow for carbon monoxide to enter the home. Properly seal up this junction with furnace cement.

PICTURE B:



This photo shows the deterioration in the vent/chimney junction.

2626 N. Dryden Pl.
VENTING:

Appears serviceable.

COMBUSTION AIR:

Appears serviceable.

AIR PLENUM:

Appears serviceable.

FAN CONDITION:

Appears serviceable.

SERVICE SWITCH:

Appears serviceable.

CONDITION OF GAS LINE:

Appears serviceable.

AIR FILTER TYPE:

Disposable type.

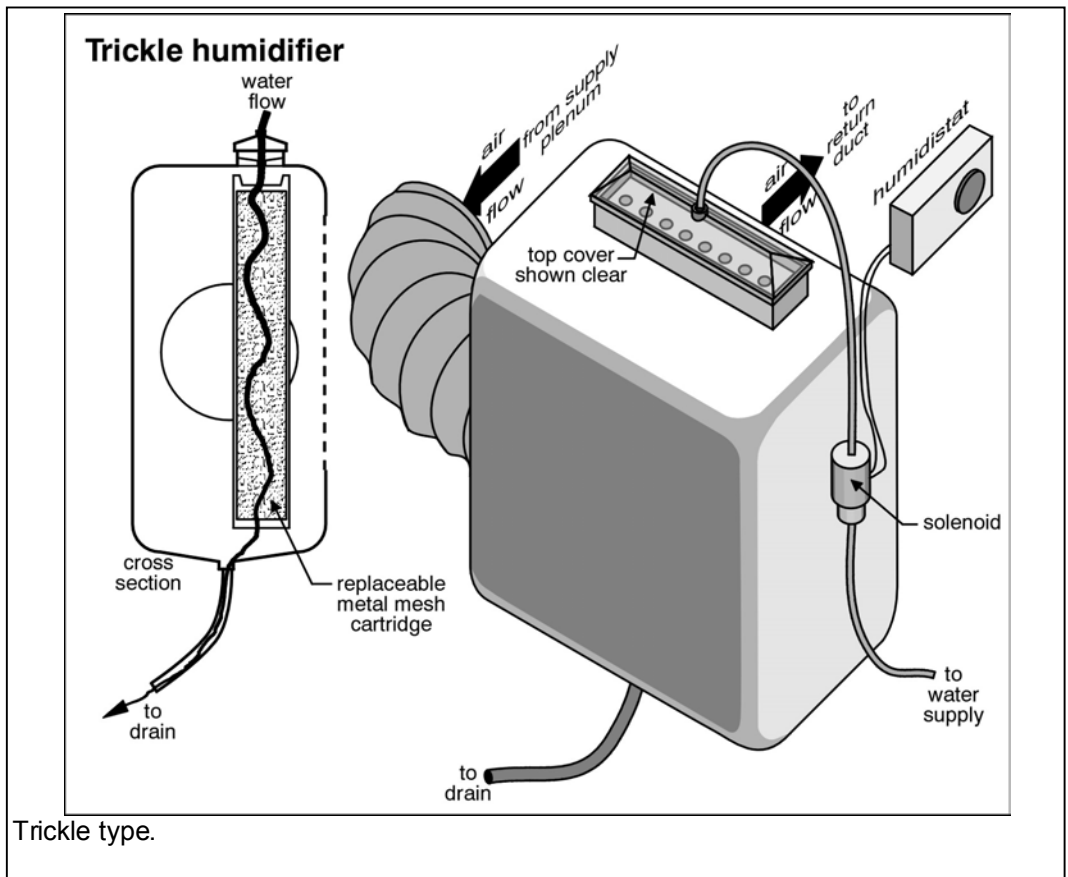
AIR FILTER CONDITION:

Appears serviceable.

THERMOSTAT:

The set back thermostat appeared serviceable. Due to time constraints, the set back feature was not tested.

HUMIDIFIER TYPE:





The humidifier pad is dirty. Clean the unit, and replace pad.

CONDENSATE LINE:

Condensate line installed. Appears serviceable.

DUCTWORK:

TYPE:

Sheet metal.

ASBESTOS?:



There is white material on/in some of the heating ducts/vent pipes. It is possible that this may contain asbestos. Unable to determine without laboratory analysis. Recommend further evaluation by a specialist.

2626 N. Dryden Pl.
CONDITION:

Appears serviceable, unable to fully view.

AIR CONDITIONING:

TYPE:

Central.

PICTURE OF UNIT:



POWER SOURCE:

220 Volt, Electrical disconnect present.

COMPRESSOR AGE IN YEARS:
(may be an estimate)

5-8 years.

**CAPACITY OF UNIT: (may be
an estimate)**

48,000 btu's.

SYSTEM CONDITION:

The outside air temperature was below 65 degrees. Due to potential compressor damage the manufacturer recommends not running the unit at these colder temperatures. Unable to inspect the system.

The inspector is not equipped to inspect furnace heat EXCHANGES for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible. The inspector can not light pilot lights. Safety devices are not tested by the inspector. NOTE: Asbestos materials have been commonly used in heating systems. Due to potential compressor damage, air conditioning units can not be operated below 65 degrees outside air temperature. Consult with your attorney regarding contractual provisions regarding this issue.

ACCUspect Home Inspection Services, Inc.

Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, humidifier and dehumidifier are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Determining the condition of oil tanks, whether exposed or buried, is

~~2626 N. Dryden Pl~~

beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

ACCUspect Home Inspection Services, Inc.

PLUMBING

MAIN WATER LINE:

MATERIAL:

Copper.

SIZE OF LINE:

1"

WATER METER LOCATION:

Interior, Left center of the basement.

WATER METER:

Unable to test the water meter, however the general condition appears serviceable.

WATER SHUT OFF VALVE
LOCATION:

Next to the water meter.

WATER SHUT OFF VALVE:

The water shut off valve appears operationable.

WATER PRESSURE:

CONDITION:

The water pressure appears adequate.

SUPPLY LINES:

MATERIAL:

Copper.

CONDITION:

All the water supply lines are not fully visible. The lines that were visible/inspected, appear serviceable. Minor corrosion is noted.

WASTE LINES:

MATERIAL:

Cast Iron, Galvanized.

CONDITION:

All the drain lines are not fully visible. The lines that were visible/inspected, appear serviceable. Minor corrosion is noted.

FUEL SYSTEM:

FUEL TYPE:

Natural gas.

LOCATION OF METER/TANK:

The meter located at exterior, right front corner.

WATER HEATER:

TYPE:

Gas.

SIZE:

50 Gallons.

ESTIMATED AGE: (in years)

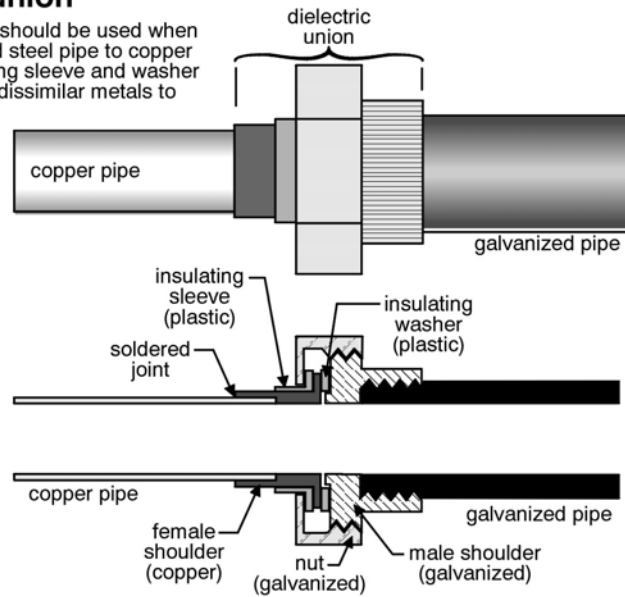
2.

LOCATION:

Basement.

CONDITION OF WATER LINES:**Dielectric union**

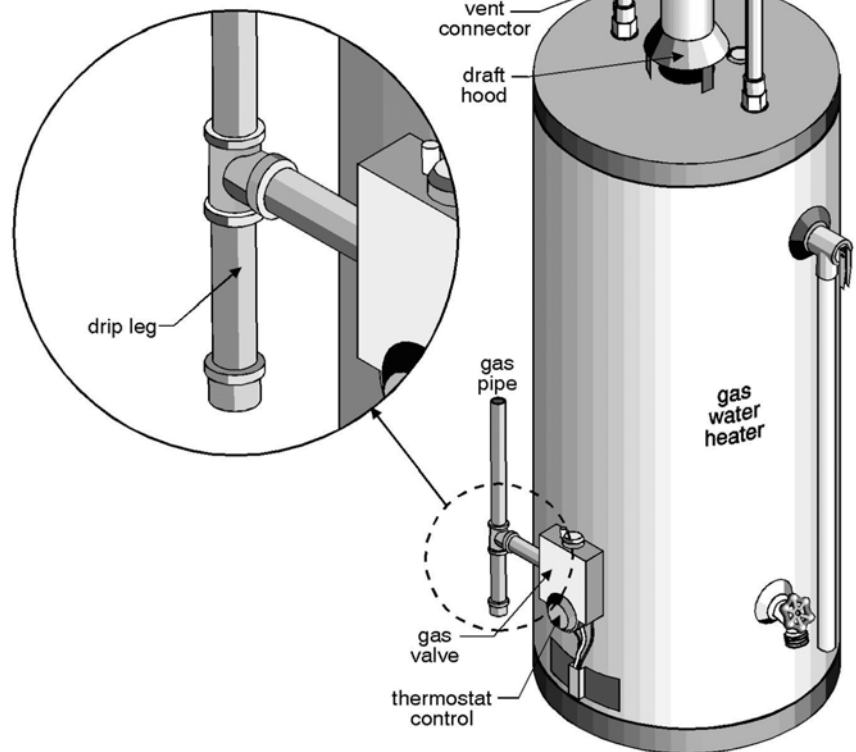
a dielectric union should be used when joining galvanized steel pipe to copper pipe - the insulating sleeve and washer separate the two dissimilar metals to prevent corrosion



There is galvanized and copper piping joined together. These two dissimilar metals when joined will cause corrosion, (as may be noted). Properly install dielectric union on the cold water side to insulate the pipes from each other.

Drip leg

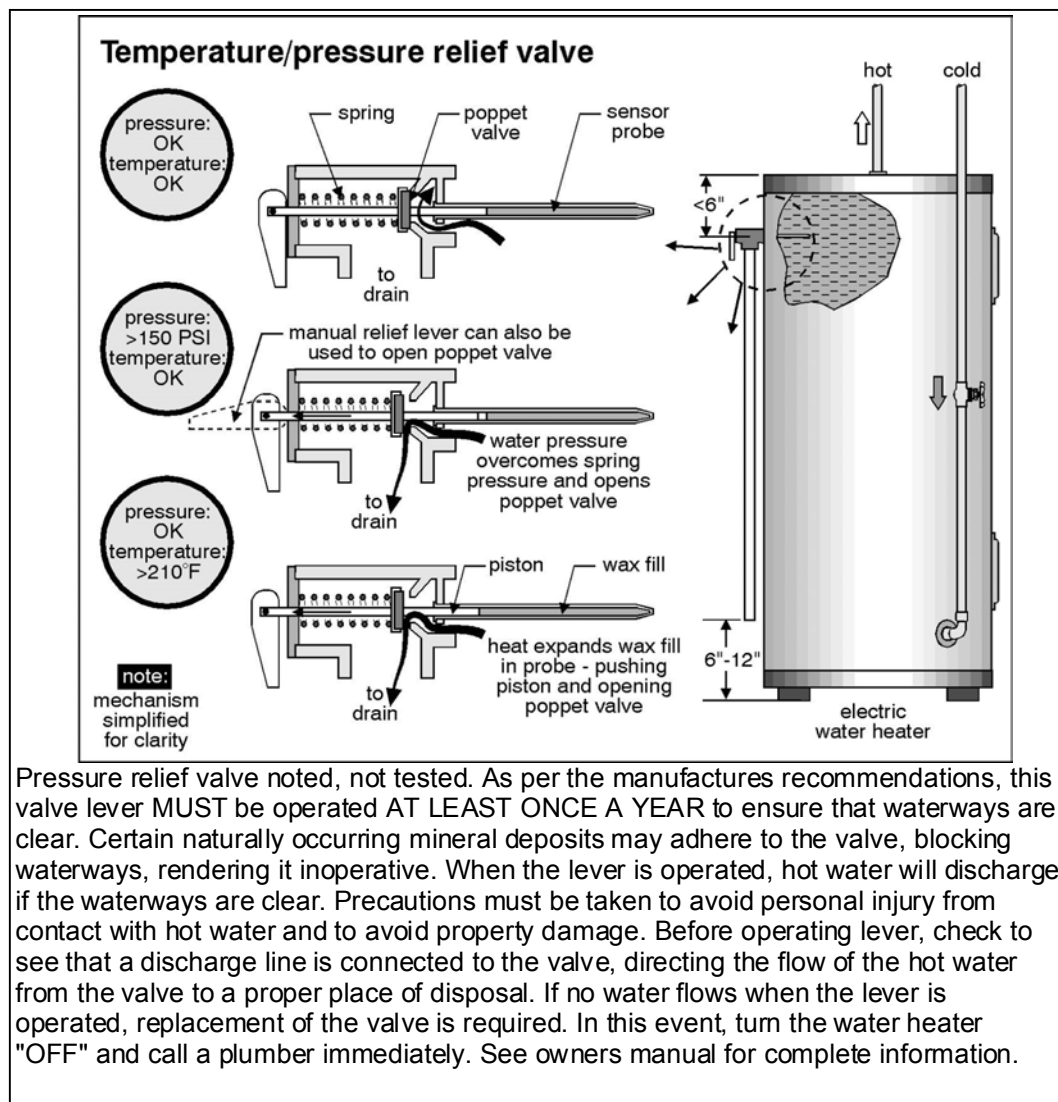
the drip leg (or dirt pocket) serves as a collection area for sediment to reduce the chance of clogged gas valves or burners



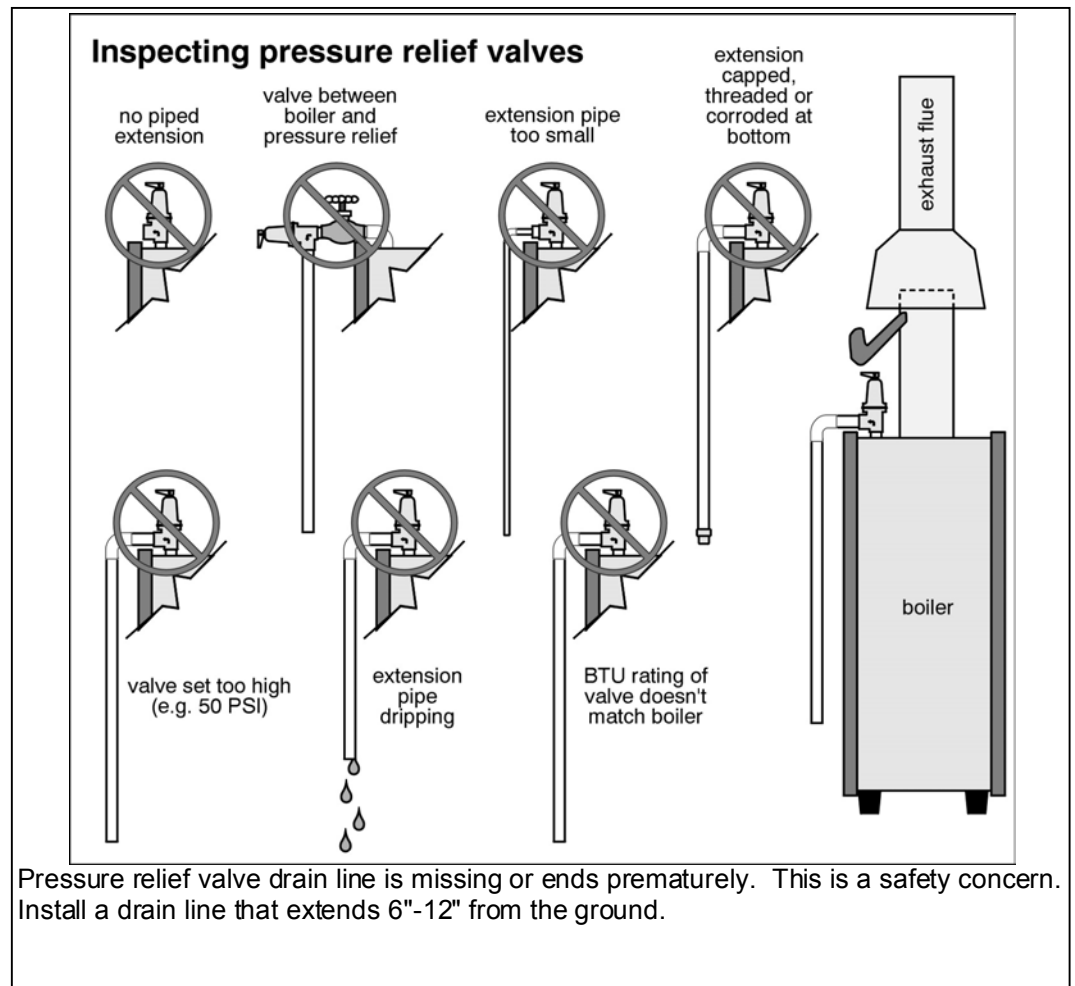
The gas line was loose/not properly secured. Properly fasten the gas line. There is a flexible gas connector supplying the unit. Remove the flex line and properly install a hard gas line. There is no drip leg installed. A drip leg catches moisture and dirt before its gets a chance to enter the gas valve and plug it up. It is recommended to properly install a drip leg.

UNIT OPERATION:

The burner operation/flame appears typical.



Pressure relief valve noted, not tested. As per the manufactures recommendations, this valve lever MUST be operated AT LEAST ONCE A YEAR to ensure that waterways are clear. Certain naturally occurring mineral deposits may adhere to the valve, blocking waterways, rendering it inoperative. When the lever is operated, hot water will discharge if the waterways are clear. Precautions must be taken to avoid personal injury from contact with hot water and to avoid property damage. Before operating lever, check to see that a discharge line is connected to the valve, directing the flow of the hot water from the valve to a proper place of disposal. If no water flows when the lever is operated, replacement of the valve is required. In this event, turn the water heater "OFF" and call a plumber immediately. See owners manual for complete information.



VENT PIPE CONDITION:



VENTING:

Appears serviceable.

COMBUSTION AIR:

Appears serviceable.

Water quality or hazardous materials testing is available from local testing labs. All underground piping related to water supply, waste, or sprinkler are excluded from this inspection. Leakage or corrosion in underground piping can not be detected by a visual inspection. The temperature pressure relief valve at the upper portion of the water heater, is a required safety valve which should be connected to a drain line of proper size terminating just above the floor elevation. If no drain is located in the floor, a catch pan should be installed with its drain extending to a safe location. The steam caused by a blow off can cause scalding. Improper installations should be corrected. The inspection may have indicated the presence of lead supply piping. The use of lead water piping is not advised as lead can leach out into the drinking water and cause lead poisoning. While the lead supply line may still be functional, recommend its replacement for the safety of the occupants. The city water department can provide you with a list of local contractors with whom they coordinate such water line replacements. Major expense is anticipated that should be research prior to purchase. If water line replacement is not within your budget, then it is recommend that the drinking water be tested for lead content by a state certified laboratory.

ACCUspect Home Inspection Services, Inc.

BASEMENT-CRAWL SPACE

BASEMENT:

PICTURE OF BASEMENT:



ACCESSIBILITY:

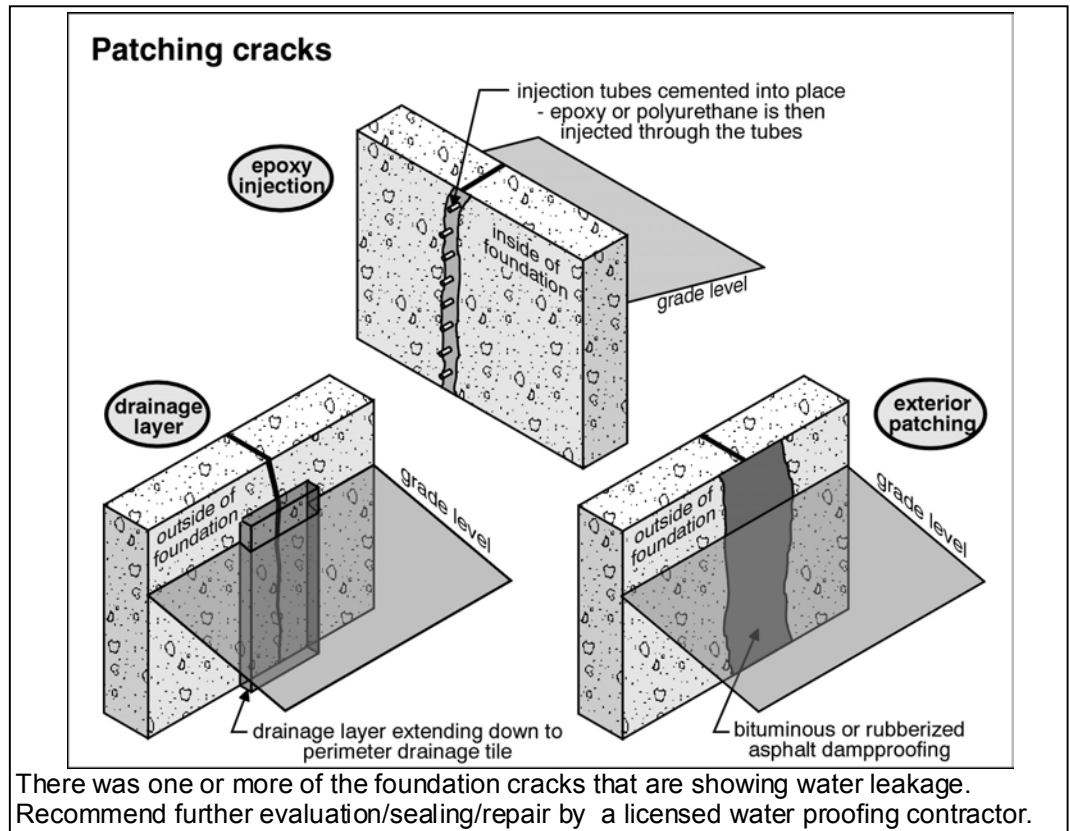
The basement is unfinished,

WALLS - TYPE:

Poured concrete.

CONDITION OF WALLS:

There are one or more patched foundation cracks noted. No present signs of water leakage past the cracks. Appears serviceable.



PICTURE B:



TYPE OF FLOOR JOISTS:

Wood.

CONDITION OF JOISTS:

Typical minor cracks noted. Joists condition appears serviceable.

Steel

CONDITION OF BEAM:

Appears serviceable.

TYPE OF COLUMN/POSTS:

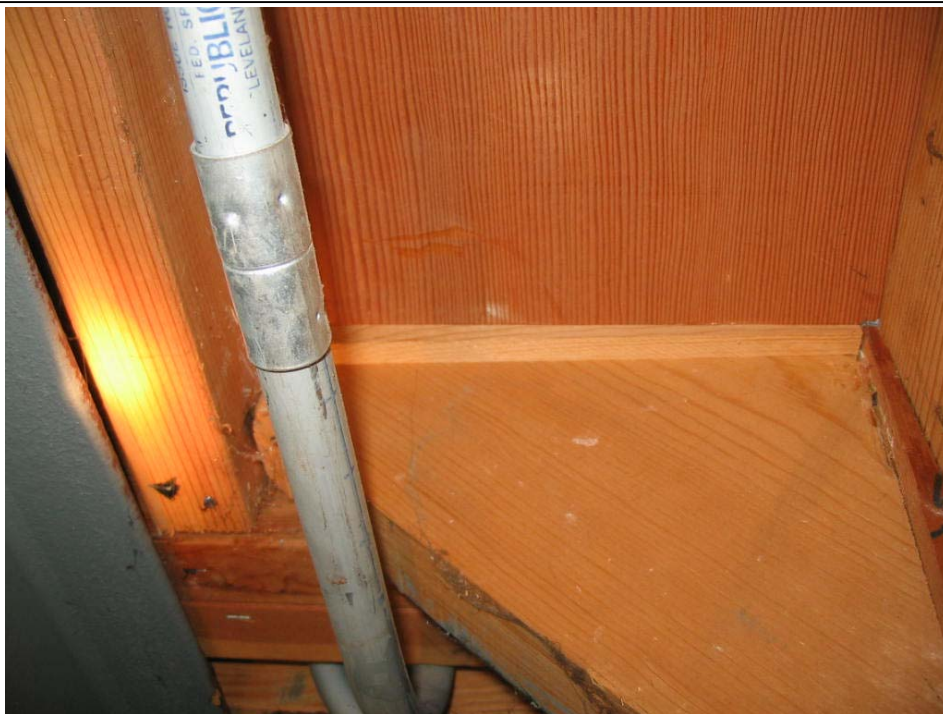
Steel.

CONDITION OF POSTS:

Appear serviceable.

STAIRS:

CONDITION:



The staircase is improperly secured. Repair as necessary.

RAILINGS:

CONDITION:

There was missing/broken baluster(s) noted. Repair as needed.

WINDOWS:

TYPE:

Metal, pull in type.

CONDITION:

Basement windows are usually very difficult to open, and sometimes impossible to close. These windows were not tested. Only a visual inspection was performed.

WALLS & CEILINGS:

CEILING TYPE:

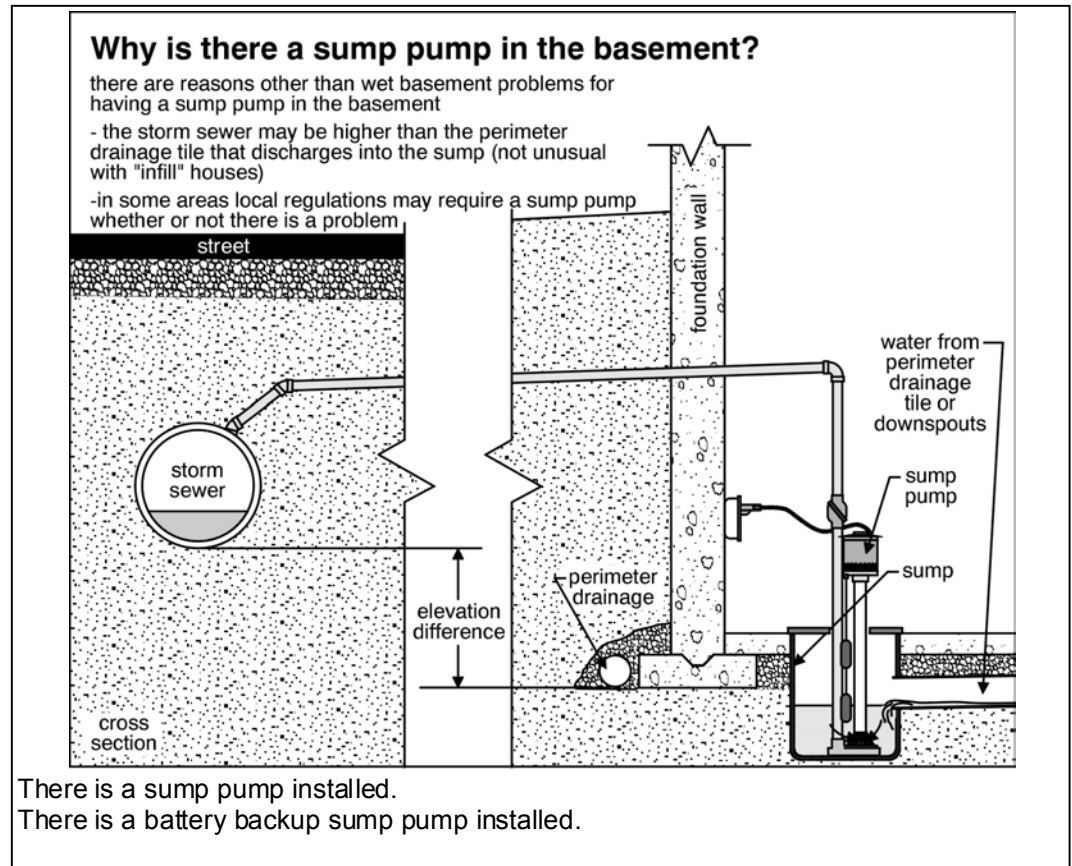
Open Beam.

CEILING CONDITION:

General condition appears serviceable, with typical signs of minor cracking. No staining present.

BASEMENT WATER/CONTROL:

SUMP/EJECTOR/BATTERY BACKUP PUMP:



CONDITION OF SUMP PUMP:

The sump pump was operationable. The check valve appears serviceable.

CONDITION OF BATTERY BACKUP PUMP:

The pump was serviceable.

BASEMENT DRAINAGE:

There is signs of past moisture noted as indicated by staining/water marks/loose tile, however there is no present moisture noted. Obtain discloser form seller as to past water leakage history. Due to the underground nature of the drain tile system (if installed), unable to determine the adequacy of the basement water control. The basement may leak/flood in the future.

Areas hidden from view by finished walls or stored items can not be judged and are not part of the inspection. Minor cracks are typical and common in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process of the concrete. In most instances floor coverings prevent recognition of cracks or settlement, in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath can not be determined. Many types of older vinyl floor tiles may contain asbestos, unable to determine without laboratory analysis, recommend further evaluation by a licensed asbestos contractor.

A special concern regarding basements/lower levels and flooding in general: Even if a basement is perfectly clean and dry at the time of inspection, basements should be regarded as likely sources of water entry around the foundation or through the floor. It should be regarded that basements are not watertight vessels and all exhibit some form or amount of water entry under wet conditions. Basement walls frequently have cracks and holes that run, seep or leak. The causes for water entry vary and remedies range from collection & extraction systems to ablative coatings. No leakage remedy is foolproof in all conditions.

Basement finishing and use for storage should always be regarded as a risk. Among other features, water lines, gas lines and sewer pipes perforate the walls and floors and can be water entry sources. Drain backup can be another source. Due to the underground nature of the drain tile system, unable to determine the adequacy of the basement water

control. In most cases, one of the homeowner's best recourse is to manage water exposure and entry by routing gutters six feet away from the foundation, having the soil grade that slopes away from the home six inches per six feet and if necessary, installing a water extraction system (sump pump and/or a flood control system.) Favorable findings and conditions at the inspection should never be interpreted as a guarantee that a basement will never leak. Determining future flooding/seepage conditions in basements is beyond the scope of the inspection. Obtain a full disclosure from the seller as to the prior history of water seepage/flooding.

ACCUspect Home Inspection Services, Inc.

LAUNDRY

LAUNDRY:

LOCATION:



Service area main floor.

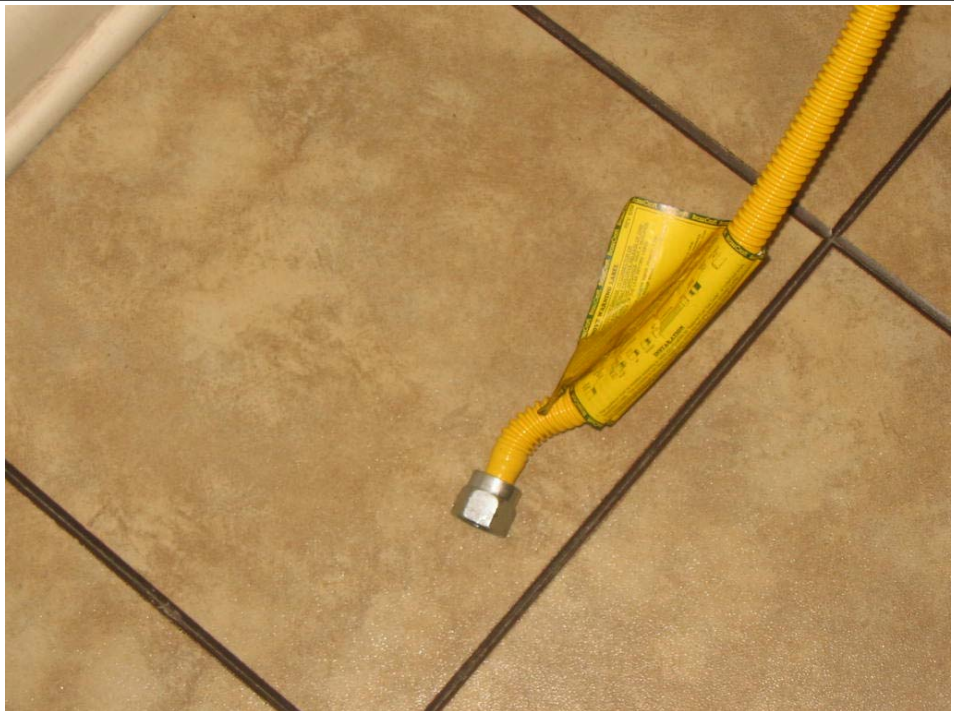
**WASHING MACHINE WATER
SUPPLY:**

Plumbing appears serviceable.

ELECTRICAL:

There was no GFI's installed. Install a GFI's as necessary.

CONDITION OF GAS LINE:



There is a unused gas line that is not capped. To prevent possible gas leakage, install a cap over the non used gas line.



There was a foil accordion type dryer ducting material noted. Most manufacturers require the use of rigid or corrugated semi-rigid metal duct which provides maximum airflow. The flexible foil type duct can more easily trap lint and is more susceptible to kinks or crushing, which can greatly reduce the airflow. This reduced airflow can lead to heat build up and lint fires. Properly install the correct type of dryer connector as necessary.

LAUNDRY SINK CONDITION:

The sink is loose. Properly secure the sink at the the bottom.

FAUCET/PLUMBING:

The faucet is leaky. Repair/replace faucet.

WASHER CONDITION:

There was no washing machine noted.

DRYER TYPE:

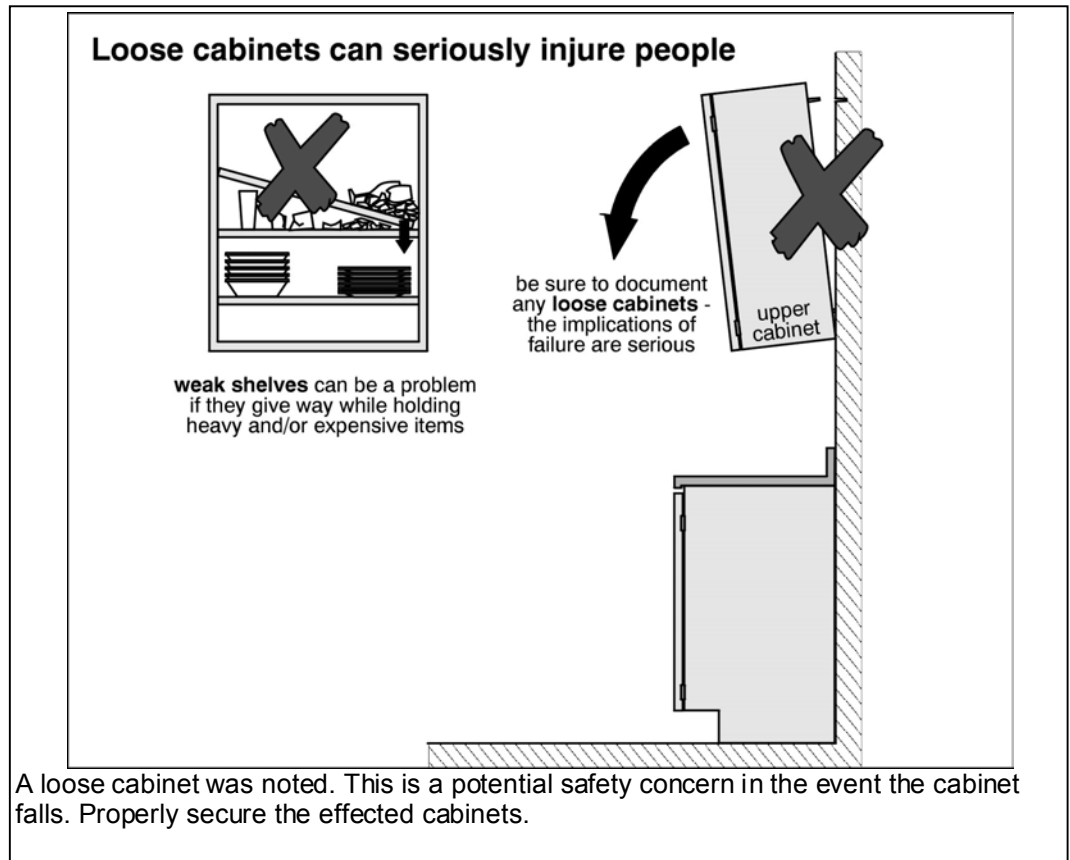
Electric
Gas.

DRYER CONDITION:

There was no dryer noted.

TYPE OF CABINETS:

The cabinets are made from wood.



Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned.

BATHROOMS

BATHROOM:**LOCATION:**

1st floor Powder room

TYPE OF SINK:

Cultured marble.

CONDITION OF SINK:

Appears serviceable.

CONDITION OF VANITY:

Appears serviceable.

CONDITION OF MIRROR:

Appears serviceable.

**CONDITION OF MEDICINE
CABINET:**

Appears serviceable.

FAUCET/PLUMBING:

Parts of the drain line were taped or caulked up. There is no current leaking noted. This is not the proper type of repair. Replace effected sections of the drain pipe.

CONDITION OF TOILET:

The toilet appears serviceable and is properly secured.

WATER PRESSURE:

Appears serviceable.

HEATING SUPPLY:

There is a heating supply vent provided.

2626 N. Dryden Pl.
BATH VENTILATION:

Appears serviceable.

ELECTRICAL:

There was no GFI's installed. Recommend Installing GFI's to the bathroom outlets as necessary.

**CONDITION OF THE
FLOORING:**

General condition appears serviceable, with signs of normal wear.

**BATHROOM:
LOCATION:**



Upstairs, Hall.

TYPE OF SINK:

Cultured marble.

CONDITION OF SINK:

Appears serviceable.

CONDITION OF VANITY:

Appears serviceable.

CONDITION OF MIRROR:

Appears serviceable.

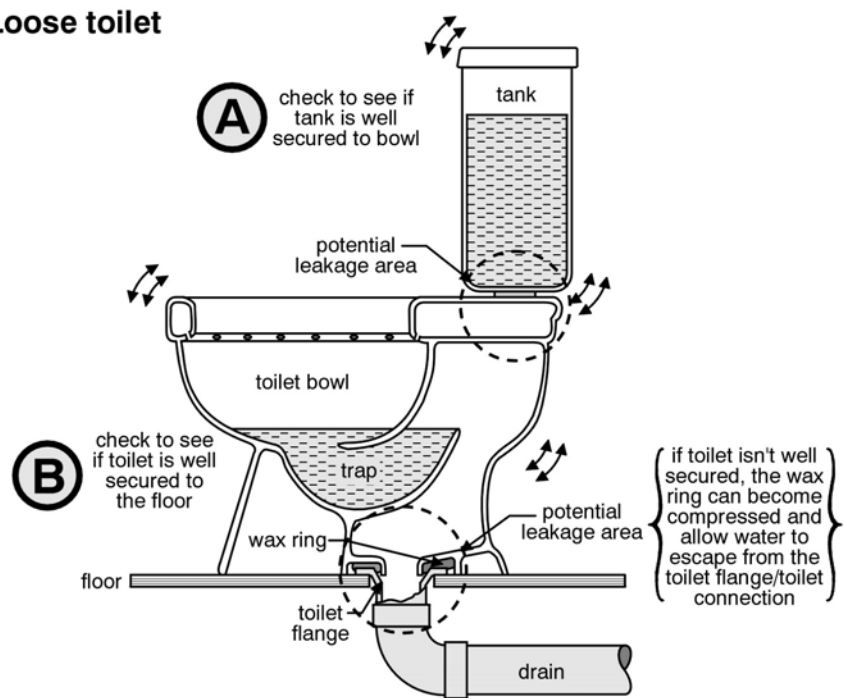
**CONDITION OF MEDICINE
CABINET:**

Appears serviceable.

FAUCET/PLUMBING:

The faucet and plumbing fixtures appear serviceable.

Loose toilet



The toilet was loose at the floor, however there is no current stains/leaks noted. Tighten up the toilet flange.

TUB/SHOWER FIXTURES:



Minor leakage is noted at faucet handles. Repair/replace the faucets. The shower diverter is leaking. Replace the diverter.

SHOWER HEAD:

Appears serviceable.

2626 N. Dryden Pl.
WATER PRESSURE:

Appears serviceable.

SHOWER WALLS:

Shower walls appear serviceable.

HEATING SUPPLY:

There is a heating supply vent provided.

BATH VENTILATION:

No exhaust fan is needed due to a provided window.

ELECTRICAL:

There was no GFI's installed. Recommend Installing GFI's to the bathroom outlets as necessary.

**CONDITION OF THE
FLOORING:**

General condition appears serviceable, with signs of normal wear.

BATHROOM:

LOCATION:



Master bedroom.

TYPE OF SINK:

Cultured marble.

CONDITION OF SINK:

Appears serviceable.

CONDITION OF VANITY:

Appears serviceable.

CONDITION OF MIRROR:

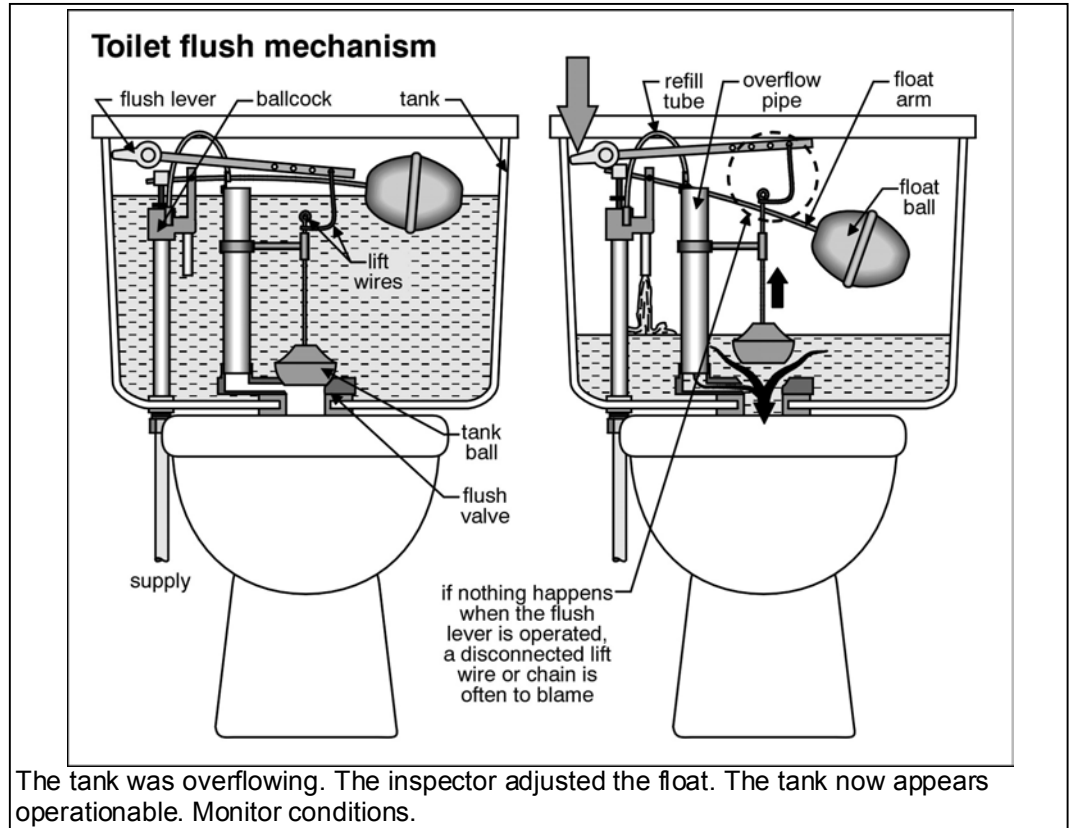
Appears serviceable.

**CONDITION OF MEDICINE
CABINET:**

Appears serviceable.

The faucet and plumbing fixtures appear serviceable.

CONDITION OF TOILET:



TUB/SHOWER FIXTURES:

Appears serviceable.

SHOWER HEAD:

Appears serviceable.

WATER PRESSURE:

Appears serviceable.

SHOWER WALLS:

Shower walls appear serviceable.

SHOWER DOOR:

The shower door is not made from safety/tempered glass. This is considered a safety hazard, upgrading to a tempered door is recommended.

HEATING SUPPLY:

There is a heating supply vent provided.

BATH VENTILATION:

No exhaust fan is needed due to a provided window.

ELECTRICAL:

There was no GFI's installed. Recommend Installing GFI's to the bathroom outlets as necessary.

CONDITION OF THE FLOORING:

General condition appears serviceable, with signs of normal wear.

Shower pans are visually checked for leakage, however leaks often do not show up except for when the shower is in actual usage for an extended period of time. Determining whether shower pans, tub/shower surrounds are water tight are beyond the scope of the inspection. It is very important to maintain all grouting and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas, and cause damage. Ongoing maintenance is

2626 N. Dryden Pl

recommended.

ACCUspect Home Inspection Services, Inc.

INTERIOR

EXTERIOR DOORS:

MAIN ENTRY DOOR CONDITION:

For added security, recommend changing/rekeying all locks as necessary. The door is not made from safety/tempered glass. This is considered a safety hazard, upgrading to tempered glass is recommended.

MAIN ENTRY DOORS STORM/ SCREEN DOOR CONDITION:

Appears serviceable.

SLIDING GLASS DOOR CONDITION:

Appears serviceable.

SLIDING GLASS DOORS STORM/SCREEN DOOR CONDITION:

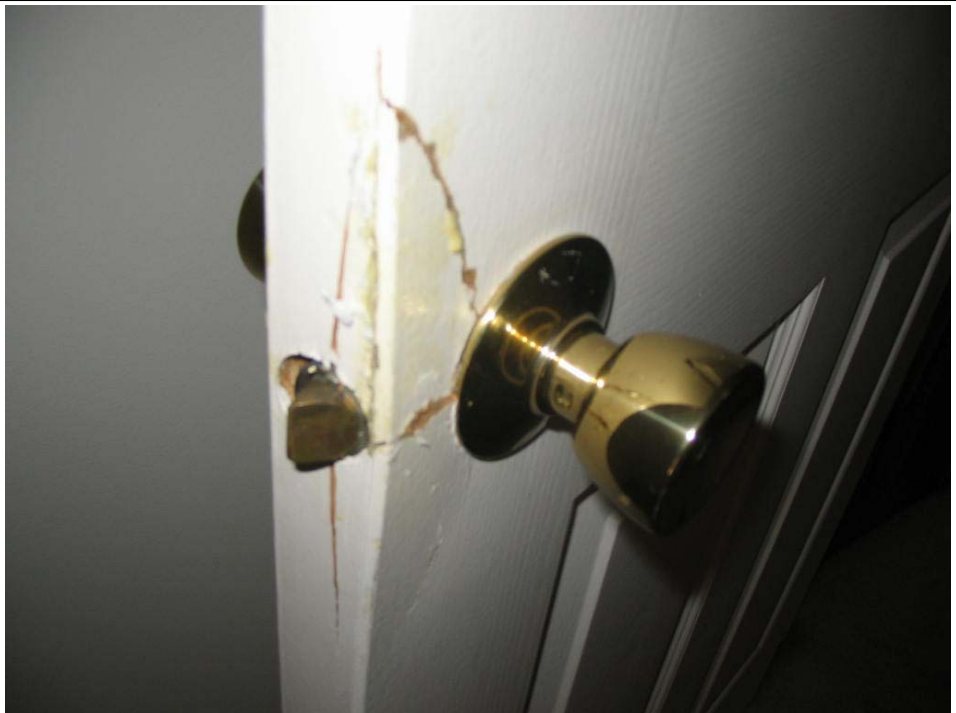
The screen door was off track, repair as necessary.

DOOR BELL:

Appears serviceable.

INTERIOR DOORS:

INTERIOR DOOR CONDITION:



Damage noted. Repair/replace bedroom door as necessary.

CLOSET DOOR CONDITION:

Appears serviceable.

WINDOWS:

Vinyl, Insulated glassDouble-paned windows reduce street noise and improve efficiency of heating/cooling systems. The space between the panes is factory sealed. If a seal is broken, air from the environment may enter the formerly sealed space. This condition may cause condensation or fogging in the window, depending on the climatic conditions. We cannot assure the seal on each and every window, but we will note in the report the presence of visible condensation at the time of inspection. Unless otherwise noted in the report, no condensation or fogging was present when inspected."

Double hung.

CONDITION:

A representative sampling was taken. Windows as a grouping are generally operational.

WALLS & CEILINGS:

WALL TYPE:

Drywall.

WALL CONDITION:

General condition appears serviceable, with typical signs of minor cracking. No staining present.

CEILING TYPE:

Drywall.

CEILING CONDITION:

General condition appears serviceable, with typical signs of minor cracking. No staining present. There were typical nail pops noted. Repair as necessary.

FLOORS:

TYPE:

Carpet, Tile.

CONDITION:

General condition appears serviceable, with signs of normal wear. Rugs and floor coverings prevent viewing of the condition of some of the floor area. Verify the condition of these areas at the walk through inspection. The carpet was excessively dirty/stained. Clean as necessary.

HANDRAILS/STAIRS:

HANDRAIL CONDITION:

Handrail appears serviceable.

STAIRS CONDITION:

Interior stairs appear serviceable.

DETECTORS:

SMOKE DETECTOR:

Smoke detector(s) responded to test button operation. Recommend installing additional detectors in the appropriate locations.

**CARBON MONOXIDE
DETECTOR:**

Carbon monoxide detector(s) responded to test button operation. Recommend installing additional detectors in the appropriate locations.

What is carbon monoxide?

Carbon monoxide is a poisonous gas that is odorless and tasteless. It is caused by the incomplete combustion of any fuel, including gasoline, oil, propane, natural gas, wood or coal.

What are the symptoms of carbon monoxide poisoning?

Symptoms are often confused with those of the flu, and most cases of CO poisoning occur at the onset of the heating season - or during the flue season. A victim may not experience ANY of the following symptoms, or only one or a few of these symptoms:

- * Headache
- * Irritability
- * Dizziness
- * Weakness
- * Visual disturbance
- * Nausea
- * Vomiting
- * Fainting upon exertion
- * Loss of muscle control
- * Tightening of the chest
- * Sleepiness
- * Fluttering of the heart
- * Confusion
- * Cherry red skin (in severe cases)

How can carbon monoxide be produced in a home?

High levels of carbon monoxide can be produced by:

- * A malfunctioning heating system that operates on propane, natural gas, oil, coal or wood.
- * A blocked chimney or heating / water heating vent pipe.
- * Heating equipment that is not adequately ventilated. This can be a problem if you enclose your heating system to add living space.
- * A tightly sealed, over insulated home that lacks proper ventilation.
- * An exhaust fan in an attic or loft that continues to run when doors and windows are closed. Potentially dangerous combustion gases can be drawn into the home instead of escaping through the chimney.
- * A barbecue grill used indoors.
- * A natural gas or propane range that is used to heat the home.
- * Running a car in an attached garage.
- * Repairing an engine (for a lawn mower, snow blower, vehicle, etc. indoors without proper ventilation.

Keep in mind, though, that the level of carbon monoxide in the home is directly related to the level of CO outside the home. This means that if you live on a street with a lot of traffic, you are likely to have a higher level of CO in your home than someone living in a low-traffic area.

What warning signs in the home can alert you to the presence of high levels of carbon monoxide?

- * Stuffy, stale or smelly air.
- * Very high humidity.
- * Fallen soot from a fireplace or heating system.
- * No draft in your chimney or a hot draft backing out of the heating system and into the basement or house.
- * Flue like symptoms that disappear when you spend time outside your home.

What measures can I take to lessen the chance of carbon monoxide poisoning?

- * Install carbon monoxide detectors.
- * Check your heating system and chimney every autumn for blockage.
- * Have your heating system "tuned-up" (preferably before the heating season begins) to ensure it's in good working order.
- * Periodically check your heating system for hot drafts backing out of the burner.
- * Have your appliances checked periodically to make sure they're working properly.
- * If you have insulated your home, had major renovations done, or enclosed your heating system to increase living space, make sure there is adequate ventilation.
- * Use appliances properly - don't use barbecue grills indoors, don't use your stove / oven for heat, and don't run a vehicle in a closed garage.
- * Don't repair lawn mowers, snow blowers or vehicles indoors without proper ventilation.
- * Have your vehicle's muffler and tailpipes inspected regularly for CO leaks.

What should you do if you suspect the presence of high levels of CO in your home?

- * Open the windows and doors.
- * Call your heating fuel supplier or a licensed heating contractor for an emergency inspection.
- * If carbon monoxide is detected, seek medical attention immediately.

What's the cure for CO poisoning?

- * Exposure to fresh air - or pure oxygen - is the cure.

FANS:

CEILING FAN CONDITION:



The ceiling fan(s) were too low. This poses a potential safety concern. Recommend removal.

FIREPLACE:

LOCATION:

Living room.

TYPE:

Masonry, Gas log.

CONDITION:

On gas fireplaces where carbon monoxide levels may buildup, it is recommended to partially wire open the flue damper. Modify the flue damper. The gas log is burning dirty due to insufficient air flow. Clean if necessary, and adjust logs to allow for more air flow for proper/clean combustion.

PICTURE:



PICTURES:

LIVING ROOM

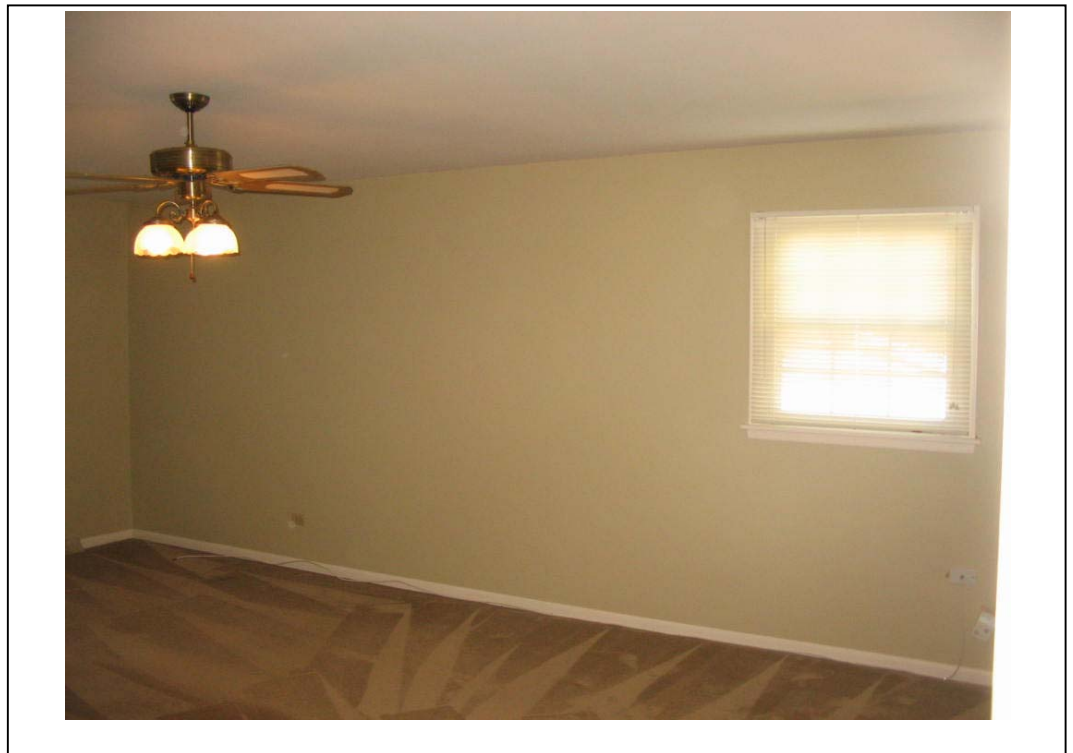


DINING ROOM





MASTER BEDROOM



The condition of walls behind wall coverings, paneling and furnishings can not be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of floors underlying floor coverings are not inspected. Check with the owners for further information. Many types of older vinyl floor tiles may contain asbestos, unable to determine without laboratory analysis, recommend further evaluation by a licensed asbestos contractor.

All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage. Central alarm and smoke detector systems are not tested. Have the alarm monitoring company inspect the system annually. Due to windows being dirty at the time of the inspection, and/or current lighting conditions/weather it is very difficult at times to determine the condition of a seal on a thermopane window. We try our best to inspect the seals, however as per the

NAHI guidelines, this is beyond the scope of the inspection. Storm windows/screens are not inspected/accounted for, inquirer the seller if there are any screens for this property. If the report indicates that there has been water or there is any past staining, there has been a potential for mold growth. Inspecting for mold is beyond the scope of the inspection. Recommend further evaluation by a mold specialist.

ACCUspect Home Inspection Services, Inc.

KITCHEN

LOCATION OF KITCHEN:



Main unit.

KITCHEN SINK:

TYPE:

Stainless Steel.

CONDITION:

Appears serviceable.

FAUCET/PLUMBING
CONDITION:

The faucet and plumbing fixtures appear serviceable.

GARBAGE DISPOSAL:

CONDITION:

Appears serviceable.

OVEN:

TYPE:

Combination oven
Electric, Self cleaning.

TOP BURNER CONDITION:

Appears serviceable.

CONDITION OF LOWER OVEN:

Appears serviceable.

VENTILATION:

2626 N. Dryden Pl.

TYPE:

External.

CONDITION:

Appears serviceable.

REFRIGERATOR:

CONDITION:

There is no refrigerator installed.

DISHWASHER:

CONDITION:

The dishwasher was loose/not properly secured to the cabinet. Secure the dishwasher.

CONDITION #2.

The unit was an older unit and was approaching its useful life. Budget for future replacement.

INTERIOR COMPONENTS:

TYPE OF COUNTER TOPS:

Counters are Formica,

CONDITION OF COUNTERS:

Appear serviceable, with minor wear or cracking. Caulking is needed in areas. Properly caulk the counter tops to prevent water infiltration/damage to the counters.

TYPE OF CABINETS:

The cabinets are made from wood.

GFI'S:

CONDITION:

There were no GFI's installed. Recommend installing GFI's as necessary.

Inspection of stand alone freezers and built-in ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. Portable dishwasher are not inspected, as they require connection to facilitate testing.

ACCUspect Home Inspection Services, Inc.

ATTIC

ATTIC AND INSULATION:

ACCESS GAINED VIA:

There was a access hatch provided.

ACCESS HATCH/STAIRS CONDITION:

The attic access hatch was made from wood, a non fire rated material. Install a new door made from approved fire rated material. e.g. approved sheet rock.

ATTIC ACCESS:

There was limited access to the attic due to no walk boards. Unable to walk into the attic via low clearance height. Viewed the attic from the access hatch. Limited inspection. Due to limited access, the attic was viewed from the access hatch via a ladder. Limited inspection.

PICTURE OF ATTIC:



ROOF FRAMING:

The roof was made from truss construction.

FRAMING CONDITION:

Appears serviceable. Connect the trusses together for added strength.

SHEETING TYPE:

Plywood.

SHEETING CONDITION:

The sheeting appears to have mold like staining in areas. This condition is caused by excessive moisture build up in the attic and poor attic ventilation. Properly terminate all bathroom and kitchen vents to the exterior, and add more attic vents as required.

TERMINATION OF BATH/ KITCHEN VENTS:

There are no exhaust fans present in the house.

2626 N. Dryden Pl.
INSULATION TYPE:

Fiberglass- Blown.

INSULATION LOCATION:

Insulation is installed between floor joists.

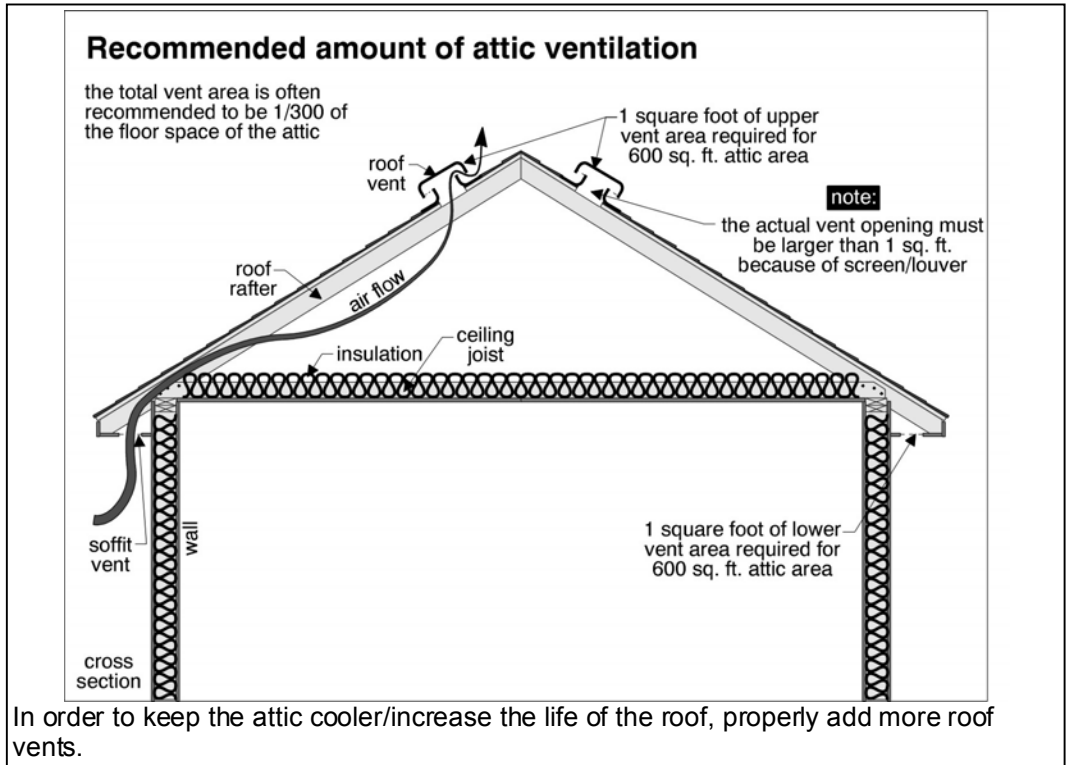
**GENERAL INSULATION
CONDITION:**

Appears serviceable.

DEPTH AND R-FACTOR:

11 inches. Unable to determine R value.

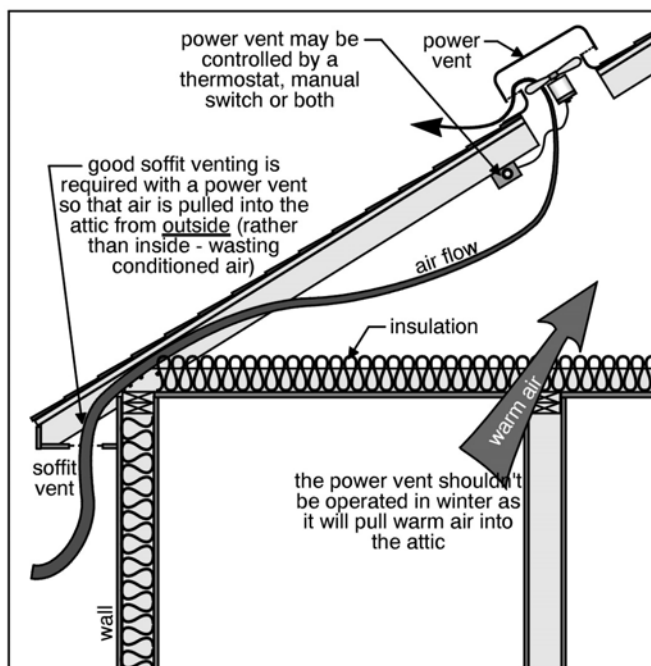
VENTILATION:



**FIXED ROOF VENTS
CONDITION:**

Appears serviceable.

Attic power vents



There is a power vent installed, due to low attic temperature/non adjustable thermostat, unable to test.

MOLD:



There appears to be areas that exhibit mold like staining. Unable to determine without laboratory analysis. Recommend further evaluation/remediation by a specialist (industrial hygienist)

If there is adequate room and walk board provided, the attic will be entered for inspection. Due to safety and possible damage, the attic will not be entered if there are not walk boards provided. Some insulation may contain asbestos. Determining the presence of asbestos can ONLY be preformed by laboratory testing, and is beyond the scope of the inspection. Rodent/animal infestation is beyond the scope of the inspection.

MECHANICAL UPGRADES:

THE FOLLOWING ITEMS ARE CONSIDERED MECHANICAL UPGRADES TO A HOME:

**INDUCED DRAFT MEDIUM
EFFICIENCY FURNACE, WITH
ELECTRONIC IGNITION:**

Installed.

**WHOLE HOUSE CENTRAL
HUMIDIFIER:**

Installed.

**SET BACK ELECTRONIC
THERMOSTAT:**

Installed.

**DOUBLE PANE INSULATED
GLASS WINDOWS:**

Installed.

POWER ATTIC VENTILATOR:

Installed.

**BATTERY BACKUP SUMP
PUMP:**

Installed.

SUMMARY

SUMMARY

The following section is designed for a quick/partial review of the inspection report, and in no way should be considered a complete report. The category's placed on each of the noted items are only of the opinion of the inspector. The user of this report may have other priorities. Please refer to the main inspection report for complete details.

THE FOLLOWING ITEMS ARE IN NEED OF IMMEDIATE REPAIR:

ELECTRICAL SYSTEM

MAIN ELECTRICAL PANELS:

MAJOR CONCERNS:

BRANCH CIRCUIT PANEL- OVERSIZED CIRCUIT BREAKER: Circuit breakers served by undersized wires are considered a fire hazard, as the wires represent the weak link in the circuit. In this case the circuit breaker(s) should be exchanged for others which are sized appropriately for the wires which serve them. This work, while straightforward, should nevertheless be performed by a licensed electrician. Recommend further evaluation/repair by a licensed electrician. There is one #10 wire going to a 40 Amp breaker. Replace the breaker with a 30 Amp breaker. (if the circuit appliance is rated for 30 Amps or less.)

OUTLETS & LIGHTS:

EXTENSION CORD WIRING:

EXTENSION CORD WIRING IS PERMANENTLY MOUNTED: The presence of handyman wiring is an undesirable condition which should be corrected by a licensed electrician. Zip cord or extension cord wiring is not sufficient for permanent installation, as the insulation on the wiring is not formulated for long term use. Over time it deteriorates, eventually causing a fire hazard to develop. Extension cord wiring should be replaced with standard Romex wiring, intended for long term permanent use. Oftentimes, extension cord wiring is also undersized, in relation to the loads imposed on it. A licensed electrician should be called in to rewire any appliances connected by the use of extension cord wiring. Noted to the basement shop lights.

LAUNDRY

LAUNDRY:

CONDITION OF GAS LINE:

There is a unused gas line that is not capped. To prevent possible gas leakage, install a cap over the non used gas line.

THE FOLLOWING ITEMS ARE NOT IN NEED OF IMMEDIATE REPAIR, HOWEVER SHOULD BE CORRECTED IN THE NEAR FUTURE:

EXTERIOR

WINDOW LENTAL:

CONDITION 1:

There was vertical cracks noted above, and at the ends of some of the lental. The lental may need to be rebuilt. Recommend further evaluation/repair by a licensed massonary contractor.

ELECTRICAL SYSTEM

GROUNDING:

WATER METER:

The is no jumper wire installed across the water valve. For electrical safety concerns, properly jumper the water meter.

GFI'S:

CONDITION:

There was no GFI's noted. It is a good safety practice to install GFI's at the exterior, garage, bathroom, and within 6 feet of a kitchen sink. Recommend installing GFI's in the appropriate locations.

HVAC

HEATING SYSTEM:

VENT PIPE CONDITION:

The vent/chimney junction is deteriorating. This could possible allow for carbon monoxide to enter the home. Properly seal up this junction with furnace cement.

PLUMBING

WATER HEATER:

VENT PIPE CONDITION:

Some sections of vent pipe are loose/not properly joined. Secure as necessary.
Several sections of the vent pipe are rusting out. Properly install new vent pipe.

BASEMENT-CRAWL SPACE

BASEMENT:

CONDITION OF WALLS #2:

There was one or more of the foundation cracks that are showing water leakage. Recommend further evaluation/sealing/repair by a licensed water proofing contractor.

STAIRS:

CONDITION:

The staircase is improperly secured. Repair as necessary.

LAUNDRY

LAUNDRY:

ELECTRICAL:

There was no GFI's installed. Install a GFI's as necessary.

FAUCET/PLUMBING:

The faucet is leaky. Repair/replace faucet.

BATHROOMS

BATHROOM:

CONDITION OF TOILET:

The toilet was loose at the floor, however there is no current stains/leaks noted. Tighten up the toilet flange.

TUB/SHOWER FIXTURES:

Minor leakage is noted at faucet handles. Repair/replace the faucets. The shower diverter is leaking. Replace the diverter.

THE FOLLOWING ARE MISCELLANEOUS ITEMS,OR SHOULD BE MONITORED AND IF CONDITIONS WORSEN A TRADES PERSON SHOULD BE CONSULTED FOR EVALUATION/REPAIR.

INSPECTION CONDITIONS

MISCELLANEOUS INFORMATION #1:

PICTURES 1:

There is a laundry chute present. For child safety reasons, recommend screwing closed the chute to prevent children from falling into the chute.

GROUNDS

SIDEWALKS:

CONDITION:

Cracks noted are major. Repair/replace effected sections. The walks are sloped toward the house, this may allow for water to be diverted into the foundation. Monitor the condition, and if needed raise/replace effected sections of walk.

PATIO:

CONDITION:

Cracks noted are major. Repair/replace effected areas. The patio is sloped towards the building. This can lead to water diverting into the foundation. Monitor the condition and possibly consider regrading or mudjacking up the patio.

GARAGE - CARPORT

SERVICE DOOR:

DOOR CONDITION:

The door, and storm door is not made from safety/tempered glass. This is considered a safety hazard, upgrading to tempered glass is recommended.

OPENER(S)

OPENER SWITCH:

The door switch is located less than 5 feet off the ground. This poses a potential child safety concern, should a child reach up and active the door. Relocate the pad at least 5 feet off the highest area within reaching distance.

ROOF SYSTEM

ROOF:

ROOF COVERING CONDITION:

Cracking and clawing of shingles are the result of long term weathering and an advanced shingle age. There was also excessive granular wear noted. The roof appears to have two layers of shingles installed.

Anticipate the need to replace the roof covering in the not too distant future.

HVAC

DUCTWORK:

ASBESTOS?:

There is white material on/in some of the heating ducts/vent pipes. It is possible that this may contain asbestos. Unable to determine without laboratory analysis. Recommend further evaluation by a specialist.

AIR CONDITIONING:

SYSTEM CONDITION:

The outside air temperature was below 65 degrees. Due to potential compressor damage the manufacturer recommends not running the unit at these colder temperatures. Unable to inspect the system.

BASEMENT-CRAWL SPACE

BASEMENT WATER/CONTROL:

BASEMENT DRAINAGE:

There is signs of past moisture noted as indicated by staining/water marks/loose tile, however there is no present moisture noted. Obtain disclosure form seller as to past water leakage history. Due to the underground nature of the drain tile system (if installed), unable to determine the adequacy of the basement water control. The basement may leak/flood in the future.

LAUNDRY

LAUNDRY:

WASHER CONDITION:

There was no washing machine noted.

DRYER CONDITION:

There was no dryer noted.

BATHROOMS

BATHROOM:

SHOWER DOOR:

The shower door is not made from safety/tempered glass. This is considered a safety hazard, upgrading to a tempered door is recommended.

INTERIOR

EXTERIOR DOORS:

MAIN ENTRY DOOR CONDITION:

For added security, recommend changing/rekeying all locks as necessary. The door is not made from safety/tempered glass. This is considered a safety hazard, upgrading to tempered glass is recommended.

FANS:

CEILING FAN CONDITION:

The ceiling fan(s) were too low. This poses a potential safety concern. Recommend removal.

KITCHEN

REFRIGERATOR:

CONDITION:

There is no refrigerator installed.

ATTIC

ATTIC AND INSULATION:

MOLD:

There appears to be areas that exhibit mold like staining. Unable to determine without laboratory analysis. Recommend further evaluation/remediation by a specialist (industrial hygienist)

THE FOLLOWING ITEMS ARE CONSIDERED MINOR REPAIRS AND/OR ROUTINE MAINTENANCE ITEMS:

EXTERIOR

EXTERIOR WALLS:

CONDITION:

To aid in proper ventilation behind the brick wall, recommend installing weep holes to the brick.

EXTERNAL VENTS:

CONDITION:

A rear vent was taped up. Repair/replace as necessary.

GROUPS

LANDSCAPING/TREES:

CONDITION:

Trees are touching or overhanging the roof. Damage is possible, trim back effected sections of the tree.

GRADING:

GRADING CONDITION:

Pitch slope of soils away from foundation. Slope should fall away from the foundation at a minimum of 1/2 inch per foot and extend at least 10 feet away from the foundation.

IMPROVE GRADE AT THE FOLLOWING LOCATION:

Perimeter of the home.

GARAGE - CARPORT

OPENER(S)

CONDITION ELECTRIC EYE:

There is no electric eye installed. This feature was not installed on older units. This condition is now considered a potential safety concern should a child run under the door while it is closing. Consider installing a photo eye to the opener.

FIRE WALL:

CONDITION:

The attic hatch is not made from approved fire rated materials. Install approved fire rated materials over the access door to restore its fire rating. Damage/missing sections to the fire wall is noted. Repair any openings with approved materials to restore its proper fire rating.

ROOF SYSTEM

GUTTERS & DOWNSPOUTS:

CONDITION:

In order to prevent water from rolling back/entering the foundation, add downspout extensions.

ELECTRICAL SYSTEM

MAIN ELECTRICAL PANELS:

CONDITION:

The panel is partially labeled. Properly label all circuits.

There are openings in the main panel (missing knockouts). This can allow for probing fingers to potentially get shocked. Install missing knockout covers.

There is minor corrosion noted inside the panel.

GROUNDING:

CONDITION OF PIPE GROUND:

There was no Do Not Remove tag noted to the grounding connector. Install as necessary.

HVAC

HEATING SYSTEM:

HUMIDIFIER CONDITION:

The humidifier pad is dirty. Clean the unit, and replace pad.

PLUMBING

WATER HEATER:

CONDITION OF WATER LINES:

There is galvanized and copper piping joined together. These two dissimilar metals when joined will cause corrosion, (as may be noted). Properly install dielectric union on the cold water side to insulate the pipes from each other.

CONDITION OF GAS LINE:

The gas line was loose/not properly secured. Properly fasten the gas line. There is a flexible gas connector supplying the unit. Remove the flex line and properly install a hard gas line. There is no drip leg installed. A drip leg catches moisture and dirt before its gets a chance to enter the gas valve and plug it up. It is recommended to properly install a drip leg.

TEMPERATURE PRESSURE RELIEF VALVE CONDITION:

Pressure relief valve drain line is missing or ends prematurely. This is a safety concern. Install a drain line that extends 6"-12" from the ground.

LAUNDRY

LAUNDRY:

LAUNDRY SINK CONDITION:

The sink is loose. Properly secure the sink at the the bottom.

CONDITION OF CABINETS:

A loose cabinet was noted. This is a potential safety concern in the event the cabinet falls. Properly secure the effected cabinets.

BATHROOMS

BATHROOM:

FAUCET/PLUMBING:

Parts of the drain line were taped or caulked up. There is no current leaking noted. This is not the proper type of repair. Replace effected sections of the drain pipe.

INTERIOR

EXTERIOR DOORS:

SLIDING GLASS DOORS STORM/SCREEN DOOR CONDITION:

The screen door was off track, repair as necessary.

INTERIOR DOORS:

INTERIOR DOOR CONDITION:

Damage noted. Repair/replace bedroom door as necessary.

DETECTORS:

SMOKE DETECTOR:

Smoke detector(s) responded to test button operation. Recommend installing additional detectors in the appropriate locations.

CARBON MONOXIDE DETECTOR:

Carbon monoxide detector(s) responded to test button operation. Recommend installing additional detectors in the appropriate locations.

FIREPLACE:

CONDITION:

On gas fireplaces where carbon monoxide levels may buildup, it is recommended to partially wire open the flue damper. Modify the flue damper. The gas log is burning dirty due to insufficient air flow. Clean if necessary, and adjust logs to allow for more air flow for proper/clean combustion.

KITCHEN

DISHWASHER:

CONDITION:

The dishwasher was loose/not properly secured to the cabinet. Secure the dishwasher.

INTERIOR COMPONENTS:

CONDITION OF COUNTERS:

Appear serviceable, with minor wear or cracking, Caulking is needed in areas. Properly caulk the counter tops to prevent water infiltration/damage to the counters.

ATTIC

ATTIC AND INSULATION:

ACCESS HATCH/STAIRS CONDITION:

The attic access hatch was made from wood, a non fire rated material. Install a new door made from approved fire rated material. e.g. approved sheet rock.

VENTILATION:

In order to keep the attic cooler/increase the life of the roof, properly add more roof vents.

Inspected by: **ACCUspect** Home Inspection Services, Inc. 847.673.9200
www.accuspect.com.



ACCUspect

Home Inspection Services, Inc.

Receive

\$30 off

*your **Radon Inspection** when booked
with a home inspection!*

"The Next Generation in Home Inspection"

847.673.9200 • www.accuspect.com

Offer valid until 12/31/09.



ACCUspect

Home Inspection Services, Inc.

Receive

\$50 off

*your **Mold/Air Quality Inspection**
when booked with a Home Inspection!*

"The Next Generation in Home Inspection"

847.673.9200 • www.accuspect.com

Offer valid until 12/31/09. One Coupon Per Customer.



ACCUspect

Home Inspection Services, Inc.

Receive

\$30 off

*your **Termite/Wood Destroying Insect Inspection**
when booked with a home inspection!*

"The Next Generation in Home Inspection"

847.673.9200 • www.accuspect.com

Offer valid until 12/31/09. One Coupon Per Customer.



ACCUspect

Home Inspection Services, Inc.

Receive

\$30 off

*your **Home Inspection!**
or \$10 off a Condo Inspection.*

"The Next Generation in Home Inspection"

847.673.9200 • www.accuspect.com

Offer valid until 12/31/09. One Coupon Per Customer.